

TAKE ONE COCKTAIL LOUNGE

CONSTRUCTION PLANS

Project Located In:

CITY OF MIAMI
MIAMI-DADE COUNTY, FLORIDA
JULY 2012



LOCATION MAP
A PORTION OF SECTION 7, TOWNSHIP 53 SOUTH, RANGE 42 EAST
MIAMI-DADE COUNTY, FLORIDA.
SCALE = NOT TO SCALE

INDEX OF SHEETS

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LEGAL DESCRIPTION:

ALL OF LOTS 1, 2, 3 AND LOTS 10, 11, AND 12 LESS THE SOUTH 15 FEET THEREOF, BLOCK 3, "HUSKEY'S SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 123, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

LESS:

THE NORTH 12.50 FEET OF LOTS 1, 2, 3, BLOCK 3, "HUSKEY'S SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 123, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

AND LESS:

THE EAST 10.00 FEET OF LOTS 1 AND 12, BLOCK 3, "HUSKEY'S SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 123, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE NORTH 12.50 FEET THEREOF.

AND LESS:

THE EXTERNAL AREA OF A CIRCULAR CURVE LYING WITHIN LOT 1 LESS THE EAST 10.00 FEET, BLOCK 3, "HUSKEY'S SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 123, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. SAID CIRCULAR CURVE BEING CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°11'45", AN ARC LENGTH OF 39.36 FEET, AND BEING TANGENT TO THE NORTH LINE OF SAID LOT 1, AND TANGENT TO THE WEST LINE OF THE EAST 10 FEET OF SAID LOT 1.

AND LESS:

THE EXTERNAL AREA OF A CIRCULAR CURVE LYING WITHIN LOT 12 LESS THE EAST 10.00 FEET AND LESS THE SOUTH 15.00 FEET THEREOF, BLOCK 3, "HUSKEY'S SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 123, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. SAID CIRCULAR BEING CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 89°50'19", AN ARC LENGTH OF 39.20 FEET, AND BEING TANGENT TO THE NORTH LINE OF THE SOUTH 15.00 FEET OF SAID LOT 12 AND TANGENT TO THE WEST LINE OF THE EAST 10.00 FEET OF SAID LOT 12.

DEDICATION CONTAINING APPROXIMATELY 4,669 SQUARE FEET.

SITE DATA

COUNTY FLOOD CRITERIA ELEVATION = 5.0
FEDERAL FLOOD CRITERIA ELEVATION = ZONE "X", COMM. 120650 ELEVATION= NOT APPLICABLE
FLOOD ZONE FIRM MAP PANEL No. = 12086C0302 J
WATER TABLE ELEVATION OCT. H.W. = 2.85 Feet

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.

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**PERMIT
SET**

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RESERVE THEIR COPYRIGHTS TO THE IDEAS
AND DRAWINGS SHOWN. THESE DRAWINGS
ARE TO BE USED FOR THE PROJECT
STATED ONLY AND SHALL NOT BE USED
OR REPRODUCED FOR ANY OTHER
PURPOSE WHATSOEVER WITHOUT THE
EXPRESSED WRITTEN CONSENT.
CONTRACTORS SHALL VERIFY ALL
DIMENSIONS AND SHALL NOT RELY ON
SCALED DIMENSIONS. NOTIFY THE
ENGINEER OF ANY DISCREPANCIES PRIOR
TO COMMENCING WORK.

Revisions	Date
1 METRO DADE	11/13/12
2 CONTRACTOR	04/03/13

COVER
CONSTRUCTION PLANS

TAKE ONE COCKTAIL LOUNGE

340 N.E. 80th STREET
MIAMI, FL 33138

Project Located In:

Project No: 03/17/2012

Sheet

C

1 of 10 Sheets



PATH FILE: G:\2012\12-07\1207-0001\Take One Civil\Take One Civil.dwg -- April 14, 2013 -- 8:29 pm



GENERAL NOTES:

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES WERE OBTAINED FROM AVAILABLE RECORDS. NEITHER THE CITY OF MIAMI NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT LOCATED WHERE SHOWN. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION WORK. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR. CONTRACTOR SHALL ALSO PROVIDE THE ENGINEER WITH RECORD INFORMATION ON ALL FIELD VERIFICATION MEASUREMENTS AS SPECIFIED. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE THE CONSULTANT INFORMATION ON ALL FIELD VERIFICATION MEASUREMENTS AS SPECIFIED. IF AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE VILLAGE SO THAT APPROPRIATE MEASURES CAN BE TAKEN.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES WHETHER SHOWN OR NOT.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MIAMI IN ADVANCE OF MAKING ANY CONNECTION TO AN ACTIVE PIPELINE OR UTILITY SYSTEM.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE DURING CONSTRUCTION UNLESS APPROVED OTHERWISE IN WRITING BY THE UTILITY OWNERS.
- CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS TWO (2) BUSINESS DAYS PRIOR TO COMMENCING ANY PORTION OF THE WORK TO BE PERFORMED DURING OFF-PEAK HOURS (NIGHTS AND SUNDAYS).
- ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NGVD 1929 DATUM. A COPY OF THE SITE-SPECIFIC SURVEY SHOWING PROJECT BENCHMARKS WILL BE PROVIDED UPON REQUEST.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER PROPERTY AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT THE CONTRACTOR EXPENSE.
- THE CONTRACTOR WILL HOLD A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF ANY CONSTRUCTION INCLUDING A REPRESENTATIVE FROM THE RESPECTIVE ENGINEERING AND UTILITY DEPARTMENTS, OWNER AND OTHER APPLICABLE AGENCIES.
- ALL DEVIATIONS FROM PLANS ARE TO BE APPROVED IN WRITING PRIOR TO CONSTRUCTION AND FOR ALL INSPECTIONS AND TESTING.
- THE CITY OF MIAMI MUST BE GIVEN A MINIMUM 48 HOURS NOTICE FOR ALL INSPECTIONS UNLESS OTHERWISE AGREED UPON.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES AND IMPROVEMENTS FROM DAMAGES, DISRUPTION OF SERVICE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- EXISTING SECTION CORNERS AND OTHER LAND MARKERS OR MONUMENTS LOCATED WITHIN PROPOSED CONSTRUCTION ARE TO BE MAINTAINED BY THE CONTRACTOR AND/OR RESET AFTER CONSTRUCTION UNDER CERTIFICATION BY A FLORIDA REGISTERED SURVEYOR.
- THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" SHALL BE USED AS THE STANDARD FOR ANY SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE PROJECT.
- THE EXISTING ELEVATIONS SHOWN HEREIN ARE FOR THE PURPOSE OF INDICATING THE GROUND ELEVATION ONLY AT THE POSITION SHOWN AND IN NO WAY SHOULD INDICATE ELEVATION AT ANY OTHER POINT OTHER THAN THAT SHOWN.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC (M.O.T.) FOR ANY WORK PERFORMED ON PUBLIC RIGHT-OF-WAY. NOTIFY THE CITY OF MIAMI 48 HOURS PRIOR TO BEGIN WORK. ALL M.O.T. WORK SHALL BE AS PER FDOT INDEX NO. 600S SERIES.
- TOPOGRAPHIC INFORMATION SHOWN ON THE PLANS ARE TAKEN FROM SURVEY PREPARED BY ALVAREZ, AIGUESVIVES AND ASSOCIATES, INC. CONTACT NUMBER: (305) 220.2424. DRAWING NO. 11-15059. FIELD DATE: 08/24/2011.
- ALL WATER BOX, COMMUNICATION BOX, CABLE TV BOX, ETC, DAMAGED DURING CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL BE REPLACED WITH IDENTICAL OR BETTER AT UTILITY OWNER SATISFACTION.
- THE WORDS 'NEW', 'PROPOSED', 'INSTALL', 'PROVIDE', OR WORDS WITH SIMILAR MEANING, ON ANY PART OF THESE CONSTRUCTION DOCUMENTS, SHALL BE INTERPRETED, UNLESS OTHERWISE SPECIFICALLY STATED, TO MEAN 'FURNISHING AND INSTALL COMPLETE IN PLACE AND READY FOR SERVICE'.
- THESE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY. WORK DEPICTED UNDER A PARTICULAR DISCIPLINE MAY TRIGGER WORK UNDER A DIFFERENT DISCIPLINE. SUCH WORK REQUIRED FOR THE INTENDED AND PROPER FUNCTION OF THE IMPROVEMENTS, SHALL BE CONSIDERED INCIDENTAL AND PART OF THE CONTRACTOR'S BID PRICE. NO ADDITIONAL PAYMENT WILL BE MADE FOR SUCH ITEMS.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING TREES, STRUCTURES, AND UTILITIES WHICH MAY NOT BE SHOWN ON PLANS. ANY EXISTING STRUCTURE, PAVEMENT, TREES OR OTHER EXISTING IMPROVEMENT NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY DAMAGED, EXPOSED OR IN ANY WAY DISTURBED BY CONSTRUCTION PERFORMED UNDER THIS CONTRACT, SHALL BE REPAIRED, PATCHED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES. PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION, ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS MUST BE RESOLVED BY THE ENGINEER AND THE OWNER. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 811 LEAST 48 HOURS PRIOR TO PERFORMING ANY DIGGING TO VERIFY THE EXACT LOCATION OF EXISTING UTILITIES.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS FOR ALL ITEMS LISTED IN PROJECT SPECIFICATION.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR LEAVE EXCAVATED TRENCHES, OR PARTS OF, EXPOSED OR OPEN AT THE END OF THE WORKING DAY, WEEKENDS, HOLIDAYS OR OTHER TIMES. WHEN THE CONTRACTOR IS NOT WORKING, UNLESS OTHERWISE DETERMINED, ANY TRENCH SHALL BE COVERED, FIRMLY SECURED AND MARKED ACCORDINGLY FOR PEDESTRIAN TRAFFIC.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
- ALL EXCAVATED MATERIAL REMOVED FROM THIS PROJECT SHALL BE DISPOSED OF PROPERLY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

Continue...

- CAST IRON PRODUCTS: HEAVY DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS, OR 16,000 LB. WHEEL LOADS.
- STEEL GRATING AND COVERS: TRAFFIC CLASSIFICATION H-20 AASHTO H20: 16,000 LBS OVER 8' X 20' AREA.
- ALL STRUCTURES MUST BE CAPABLE OF SUSTAINING HEAVY TRAFFIC LOADS.
- ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OUTLINED IN SECTION C2 AND SECTION R19 OF THE PUBLIC WORKS DEPARTMENT MANUAL. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR THE RESETTING OF ALL TRAFFIC CONTROL AND INFORMATION SIGNING REMOVED DURING CONSTRUCTION PERIOD.
- EXCAVATED OR OTHER MATERIAL STORED ADJACENT TO OR PARTIALLY UPON A ROADWAY PAVEMENT SHALL BE ADEQUATELY MARKED FOR TRAFFIC SAFETY AT ALL TIMES.
- TEMPORARY PATCH MATERIAL MUST BE ON THE JOB SITE WHENEVER PAVEMENT IS CUT, OR THE INSPECTOR WILL SHUT THE JOB DOWN.
- CONTRACTOR SHALL MAINTAIN TRAFFIC ACCORDING TO CORRESPONDING TYPICAL CONTROL DETAIL AS OUTLINED IN MIAMI-DADE COUNTY PUBLIC WORKS MANUAL AND FLORIDA DOT REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT AND FIRE PROTECTION SERVICES TWENTY-FOUR (24) HOURS IN ADVANCE OF THE DETOUR IN ACCORDANCE WITH SECTION 336.048 OF FLORIDA STATUTES.
- COMPLETE AS-BUILT INFORMATION RELATIVE TO LOCATION AND DEPTH OF PIPES, MANHOLES, ETC. SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR AND PROVIDED TO THE CITY OF MIAMI PRIOR TO FINAL ACCEPTANCE OF THE WORK.
- ALL WORK TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO CITY OF MIAMI PUBLIC WORKS DEPARTMENT (ENGINEERING STANDARDS FOR DESIGN AND CONSTRUCTION "LATEST EDITION"), AND THE MIAMI-DADE DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT (D.E.R.M.).

EARTHWORK NOTES

- THE CONTRACTOR'S BID FOR EARTHWORK SHALL INCLUDE THE EXCAVATION, REMOVAL AND DISPOSAL OF ALL MATERIALS, OF WHATEVER CHARACTER, WITHIN THE LIMITS OF CONSTRUCTION.
- ALL TOPSOIL THAT IS SUITABLE FOR LANDSCAPING OR SODDING OPERATIONS MAY BE STOCKPILED NEARBY FOR SUCH USE IF APPROVED BY THE VILLAGE.
- WHERE MUCK, ROCK, CLAY, OR OTHER MATERIAL WITHIN THE LIMITS OF CONSTRUCTION IS UNSUITABLE IN ITS ORIGINAL POSITION THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL IN ITS ENTIRETY AND BACKFILL WITH SUITABLE MATERIAL WHICH SHALL BE COMPACTED IN PLACE TO CONFORM TO THE REQUIRED GRADES AND SECTIONS AS SHOWN ON THE PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE UNSUITABLE MATERIAL PRESENT ON-SITE AND INCLUDE THE REMOVAL AND REPLACEMENT OF SAME IN HIS BID PRICE.
- THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATE ON THE VOLUME OF MATERIAL ACTUALLY REQUIRED TO OBTAIN THE CROSS SECTIONS OR GRADES AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL REMOVE ALL MUCK, YIELDING MATERIAL ROOTS, VEGETATION AND OTHER DEGRADABLE MATERIAL IN ITS ENTIRETY, WITHIN THE PAVEMENT UNITS AND BELOW ALL STRUCTURES AND UTILITIES TO FULL EXCAVATED TRENCH WIDTH. SAID MATERIAL SHALL BE REPLACED WITH CLEAN ORGANIC FRUIT MATERIAL WITH ROCKS SMALLER THAN THREE INCHES IN DIAMETER COMPACTED TO NOT LESS THAN 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE. AASHTO T-180 METHOD "D" WITH MAXIMUM LIFTS OF TWELVE INCHES COMPACTED THICKNESS.
- TRENCH BACKFILL AND COMPACTION SHALL FOLLOW THE CONTRACT SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE SAFETY PRECAUTIONS DURING EXCAVATION AND TRENCHING OPERATIONS AS REQUIRED BY THE "TRENCH SAFETY ACT".
- THIS WORK SHALL INCLUDE THE EXCAVATION OF WHATEVER SUBSTANCES THAT SHALL BE ENCOUNTERED TO THE DEPTHS AS SHOWN ON THE PLANS. EXCAVATED MATERIALS NOT REQUIRED FOR FILL OR BACKFILL SHALL BE REMOVED FROM THE WORK SITE AS DIRECTED BY THE ENGINEER AND SHALL BE CONSIDERED TO BE A PART OF THE BID PRICE OF THE UTILITY PIPE FOR WHICH EXCAVATION AND BACKFILL IS REQUIRED.
- WATER SHALL NOT BE PERMITTED TO ACCUMULATE IN THE EXCAVATED AREA. IT SHALL BE REMOVED BY PUMPING OR OTHER MEANS AS APPROVED BY THE ENGINEER. THE REMOVAL OF WATER SHALL BE CONSIDERED TO BE A PART OF THE BID PRICE OF THE UTILITY PIPE FOR WHICH EXCAVATION AND BACKFILL IS REQUIRED. CONTRACTOR TO OBTAIN DEWATERING PERMITS FROM APPLICABLE JURISDICTIONAL AGENCIES (MIAMI-DADE DERM, SFWMP, ETC.)
- IF THE BOTTOM OF THE TRENCH IS ROCK, THE EXCAVATION SHALL BE CARRIED EIGHT INCHES BELOW THE INVERT OF THE PIPE AND BACKFILLED WITH THOROUGHLY COMPACTED SAND, GRAVEL, OR OTHER SUITABLE MATERIAL APPROVED BY THE ENGINEER.
- ROCK EXCAVATION SHALL INCLUDE ANY ROCK ENCOUNTERED WHICH CANNOT BE REMOVED WITH A 3/4 YARD BACKHOE UNDER NORMAL OPERATING CONDITIONS. ROCK EXCAVATION SHALL BE INCIDENTAL TO CONSTRUCTION OF ALL PIPING SYSTEMS AND NO SEPARATE PAYMENT WILL BE MADE.
- WHENEVER IT IS NECESSARY, IN THE INTEREST OF SAFETY, TO BRACE OR SHORE THE SIDES OF THE TRENCH, SUCH BRACING OR SHORING SHALL BE CONSIDERED TO BE PART OF THE BID PRICE OF UTILITY PIPE FOR WHICH EXCAVATION AND BACKFILL IS REQUIRED.
- THE CONTRACTOR SHALL FURNISH, PUT IN PLACE AND MAINTAIN SUCH SHEETING, BRACING, AS MAY BE REQUIRED TO SUPPORT THE SIDE OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT WHICH CAN IN ANY WAY DAMAGE THE WORK OR ENDANGER ADJACENT STRUCTURES.
- IF FIELD CONDITIONS, TYPE OF SHEETING OR CONSTRUCTION METHODS MAKE REMOVAL OF SHEETING IMPRACTICABLE, AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR MAY LEAVE ALL SHEETING IN PLACE. THE ENGINEER MAY REQUIRE SHEETING TO BE CUT OFF AT ANY SPECIFIED ELEVATION BUT IN NO CASE WILL ANY SHEETING BE LEFT CLOSER THAN TWO (2) FEET BELOW THE NATURAL SURFACE, NOR CUT OFF BELOW THE ELEVATION OF THE TOP OF THE PIPE.
- AFTER PIPES, STRUCTURES, AND OTHER APPURTENANCES HAVE BEEN INSTALLED, THE TRENCH OR OPENING SHALL BE BACKFILLED WITH MATERIAL IN CONFORMANCE WITH THE SPECIFICATION.
- IN AREAS WHERE PAVEMENTS ARE TO BE CONSTRUCTED OVER THE PIPE. THE REMAINDER OF THE TRENCH SHALL BE PLACED IN SIX INCH LAYERS (COMPACTED THICKNESS) AND SHALL BE COMPACTED TO 100 PERCENT OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99. CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING DAMAGE FROM SETTLEMENT IN THE BACKFILLED AREAS WHETHER UNDER THE PAVEMENT OR OTHERWISE.
- IN AREAS WHERE NO PAVEMENT IS TO BE CONSTRUCTED, THE BACKFILL ABOVE THE TWELVE INCH LINE ABOVE THE PIPE SHALL BE COMPACTED TO A FIRMNES APPROXIMATELY EQUAL TO THAT OF THE SOIL ADJACENT TO THE PIPE TRENCH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED SAFETY BARRIER AND PROTECTIVE STEEL PLATE COVERINGS FOR OPEN TRENCHES.
- THE ENGINEER AND/OR VILLAGE DOES NOT MAKE ANY REPRESENTATION REGARDING EXISTING SUBSOIL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM SOIL BORINGS TO VERIFY THE LIMITS OF UNSUITABLE MATERIAL ON-SITE.

DEMOLITION NOTES:

ROADWAYS, PARKING AND IMPROVEMENTS

- DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES, OR OTHER DANGEROUS MATERIALS BEFORE PROCEEDING WITH DEMOLITION OPERATIONS.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR IN-USE FACILITIES WITHOUT PERMISSION FROM OWNER, THE VILLAGE AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS AS REQUIRED BY GOVERNING REGULATIONS.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, BARRIERS, RAILINGS, ETC. WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
- ADJACENT IMPROVEMENTS SHALL BE CLEANED OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
- FOR SELECTIVE DEMOLITION, USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING OR CHOPPING. TEMPORARILY COVER OPENINGS TO REMAIN.
- DEMOLISH CONCRETE IN SMALL SECTIONS. CUT CONCRETE AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS; DO NOT USE POWER-DRIVEN IMPACT TOOLS.
- INFORMATION SHOWN ON THE DRAWINGS AS TO THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE ENGINEER; HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER, AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS TO THE SYSTEMS NOT SHOWN.
- REMOVAL, DEMOLITION, HAULING, AND DISPOSAL SHALL COMPLY WITH REGULATIONS BY F.D.E.P., E.P.A., AND ANY OTHER AUTHORITY HAVING JURISDICTION.
- ALL EXISTING UTILITY MH COVERS, ELECTRICAL BOXES, METER BOXES, METERS, DRAINAGE STRUCTURES, ETC. WITHIN PROPOSED AREAS OF IMPROVEMENTS SHALL BE ADJUSTED TO GRADE ELEVATION, UNLESS OTHERWISE NOTED.
- ALL EXISTING STREET LIGHTING WILL REMAIN IN PLACE AND REMAIN IN SERVICE DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL USE CARE TO ENSURE EXISTING CONDUIT, PULLBOXES, AND CONTROL ARE NOT DAMAGED DURING DEMOLITION OPERATIONS.

BUILDING AND STRUCTURES

- ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH BEST SAFETY PRACTICE AND THE LATEST EDITION OF THE 2010 FLORIDA BUILDING CODE. EVERY PRECAUTION SHALL BE TAKEN TO PREVENT DAMAGE, DETERIORATION OR COLLAPSE OF STRUCTURE AND FINISH OR MATERIAL NOT SPECIFIED TO BE REMOVED. EXPLOSIVE REMOVAL METHODS ARE NOT PERMITTED. REMOVAL METHOD SHALL BE APPROPRIATE TO THE MATERIAL AND SUB-STRATE. DAMAGE TO THE BUILDING AND PROPERTY BEYOND THAT SPECIFIED SHALL BE MADE GOOD AT THE CONTRACTOR'S OWN EXPENSE.
- REMOVE ALL REDUNDANT MATERIAL(S), EQUIPMENT, WIRING, CABLING, CONDUIT, GARBAGE, DUST TOGETHER WITH ALL MATERIAL NOT REQUIRED FOR THE COMPLETED PROJECT.
- PROTECT ALL FINISHES, PLANT MATERIAL AND UTILITIES NOT REQUIRED TO BE REMOVED AND OR DEMOLISHED. ALL DAMAGED OR DEMOLISHED WORK REQUIRING REPAIR SHALL BE CARRIED OUT AT THE CONTRACTOR'S OWN COST.
- CUT AND SEAL ALL UTILITIES AS REQUIRED TO ENSURE SAFETY OF PROPERTY AND PEOPLE.
- REMOVE PORTIONS OF WALLS WHERE REQUIRED TO FORM NEW OPENINGS. ENSURE WALLS AND BEAMS ARE FULLY SUPPORTED PRIOR TO REMOVAL. INSTALL NEW COLUMNS AND BEAMS PRIOR TO REMOVAL OF OLD MATERIAL. UPON REMOVAL OF FINISHES OF ALL PARTITIONS AND WALLS, THE ARCHITECT SHALL MAKE AN INSPECTION TO DETERMINE ACTION SHALL BE TAKEN WITH RESPECT TO UNFORESEEN UTILITIES SUCH AS ELECTRIC, CABLE, DATA, SECURITY, MECHANICAL, VACUUM LINES, AND STRUCTURAL STATUS.
- REMOVE AND RELOCATE UNDERGROUND ELECTRIC, TELEPHONE AND CABLE TV CONNECTIONS IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. MAKE GOOD WHERE REQUIRED. CONNECT TO EXISTING DISTRIBUTION SYSTEM.
- SEQUENCE OPERATIONS WITH NEW WORK TO ENSURE SECURITY OF BUILDING AND PROPERTY AT ALL TIMES. DO NOT REMOVE ITEMS UNTIL ABSOLUTELY NECESSARY.
- PROTECT ALL WORK FROM ADVERSE WEATHER CONDITIONS. ANY DAMAGE TO BE MADE GOOD SHALL BE DONE SO ENTIRELY AT THE CONTRACTOR'S OWN EXPENSE.
- ALL MATERIALS TO BE DEMOLISHED, DISMANTLED, DISTURBED OR REMOVED SHALL BE HANDLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS FOR THAT TYPE OR CLASS OF MATERIAL.
- REMOVE EXISTING PAVEMENTS AS SHOWN.
- DEMOLITION OR OTHER WORKS SHALL TAKE PLACE ONLY WHERE SPECIFICALLY DESIGNATED OR DELINEATED ON THE PLANS. ALL OTHER AREAS SHALL BE PROTECTED FROM ANY DAMAGE WHATSOEVER. THE CONTRACTOR SHALL DEVISE A PROTECTION PLAN FOR EACH AND EVERY LOCATION AND THE PLAN SHALL BE APPROVED BY THE ENGINEER. DAMAGE TO THESE AREAS SHALL BE RE-INSTATED/RESTORED/MADE GOOD ENTIRELY AT THE CONTRACTOR'S EXPENSE. WHERE ADDITIONAL OR INCIDENTAL ADDITIONAL DEMOLITION IS DEEMED NECESSARY BY THE CONTRACTOR, THIS ADDITIONAL OR INCIDENTAL WORK SHALL BE DISCUSSED WITH AND APPROVED BY THE ENGINEER.
- ELECTRICAL CONTRACTOR SHALL BE REQUIRED TO CO-ORDINATE WITH THE UTILITY COMPANY TO REMOVE ALL THE ELECTRICAL SERVICE(S) TO THE STRUCTURE PROPOSED TO BE DEMOLISHED PRIOR TO ANY DEMOLITION WORK. THE CONTRACTOR SHALL ACQUIRE AN ELECTRICAL PERMIT TOGETHER WITH ALL APPLICABLE INSPECTIONS AND APPROVALS, FOR A PROPER TEMPORARY SERVICE FOR CONSTRUCTION. THE TEMPORARY SERVICE SHALL BE INSTALLED PRIOR TO ANY DEMOLITION TAKING PLACED.

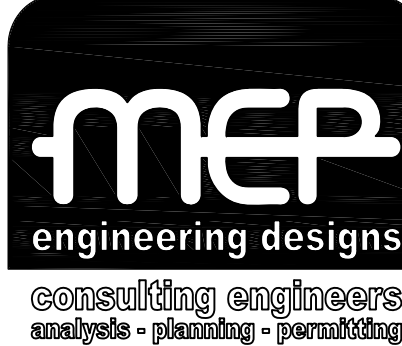
ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.

Sing & Seal:

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EXPRESSED WRITTEN CONSENT.
CONTRACTORS SHALL VERIFY ALL
DIMENSIONS AND SHALL NOT RELY ON
SCALED DIMENSIONS. NOTIFY THE
ENGINEER OF ANY DISCREPANCIES PRIOR
TO COMMENCING WORK.

Revisions	Date
1 METRO DADE	11/13/12
2 CONTRACTOR	04/03/13

Sheet Title:

GENERAL NOTES
CONSTRUCTION PLANS

Project Title:

Project No:	Date:
Sheet	03/17/2012

340 N.E. 80th STREET
MIAMI, FL 33138

Project Located In:

TAKE ONE COCKTAIL LOUNGE

C-0

2 of 10 Sheets

PATH FILE: C:\2012\12-07\1207-0001\Take One Civil\Take One - Civil 04-08-2013.dwg -- April 14, 2013 -- 8:29 pm

PAVING, GRADING, AND NOTES

- UNDERGROUND UTILITIES SHALL BE COMPLETED OR SLEEVING PROVIDED BEFORE ANY PAVEMENT CONSTRUCTION BEGINS.
- ALL PAVEMENT SUBGRADE MATERIAL SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AT OPTIMUM MOISTURE, AASHTO T-180, METHOD "D" AND SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. SPECIFICATIONS, SECTION 120. THE TEST RESULTS SHALL BE ACCEPTED BY THE VILLAGE PRIOR TO PLACEMENT OF BASE MATERIAL.
- IF THE PLANS INDICATE A LIMEROCK BASE, THE CONSTRUCTION AND THE MATERIAL FOR THE SHELLROCK BASE SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. SPECIFICATIONS, SECTION 230. THE SHELLROCK BASE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AT OPTIMUM MOISTURE, AASHTO T-180, METHOD "D", THE ENGINEER SHALL SPECIFY THE LOCATION AND NUMBER OF DENSITY TESTS REQUIRED. THE TEST RESULTS SHALL BE ACCEPTED BY THE ENGINEER PRIOR TO APPLICATION OF THE PRIME AND TACK COATS.
- THE PRIME AND TACK COAT CONSTRUCTION AND MATERIALS FOR THE PRIME AND TACK COATS SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS, SECTION 300. THE PRIME AND TACK COATS SHALL BE APPLIED PRIOR TO CONSTRUCTION OF THE ASPHALT SURFACE COURSE AND SHALL BE SANDED AND ROLLED IN ACCORDANCE WITH SECTION 300. APPLICATION RATES SHALL BE 0.15 GAL/SY FOR LIMEROCK BASE AND 0.25 GAL/SY FOR SHELLROCK BASE.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE AS SHOWN ON THE PLANS. THE MATERIALS FOR THE ASPHALT CONCRETE SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS, SECTION 331.
- THE MATERIAL TO BE USED AS A STABILIZER SHALL BE SOIL OF HIGH BEARING VALUE SUCH AS, SAND-CLAY, GROUND LIMESTONE, CRUSHED LIMEROCK, OYSTER SHELL, COQUINA SHELL, ROCK SCREENINGS, OR ANY OTHER MATERIAL WHICH IS SUITABLE FOR STABILIZATION. MUCK SHALL NOT BE USED AS STABILIZING MATERIAL.
- ALL GRADES SHOWN REFER TO FINISHED ASPHALT PAVEMENT UNLESS OTHERWISE NOTED.
- MATERIAL HAVING A PLASTICITY INDEX AT MORE THAN 10 OR A LIQUID LIMIT GREATER THAN 40 SHALL NOT BE USED. ALL MATERIAL USED FOR STABILIZING THE ROADBED SHALL PASS A 3-1/2 INCH RING.
- WHERE THE BEARING VALUE OF THE EXISTING SUBGRADE IS ADEQUATE WITHOUT ADDITION OF STABILIZING MATERIAL, THE SUBGRADE SHALL BE SCARIFIED AND DICED, HARROWED, BLADED, OR TILLED FOR REMOVAL OF BOULDERS, ROOTS, ETC. TO ASSURE UNIFORMITY AND THOROUGH MIXING OF MATERIAL TO THE FULL WIDTH AND DEPTH OF REQUIRED STABILIZATION. THE COMPACTED SUBGRADE SHALL CONFORM TO THE LINES, GRADES AND CROSS-SECTION SHOWN ON THE PLANS.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT AT THE LIMITS OF REMOVAL OF EXISTING PAVEMENT AND WHEN NEW PAVEMENT CONSTRUCTION MEETS EXISTING PAVEMENT. MEET AND MATCH SHALL ALSO MEAN SAW CUT AND MATCH.
- THE SUBGRADE TO BE STABILIZED MAY BE PROCESSED IN ONE COURSE, UNLESS THE EQUIPMENT AND METHODS BEING USED DO NOT PROVIDE THE REQUIRED UNIFORMITY, PARTICLE SIZE LIMITATION, COMPACTION AND OTHER DESIGNED RESULTS IN WHICH CASE, THE VILLAGE WILL DIRECT THAT THE PROCESSING BE DONE IN MORE THAN ONE COURSE.
- PRIOR TO THE BEGINNING OF STABILIZING OPERATIONS, THE AREA TO BE STABILIZED SHALL HAVE BEEN CONSTRUCTED TO AN ELEVATION SUCH THAT UPON COMPLETION OF STABILIZING OPERATIONS, THE COMPLETED STABILIZED SUBGRADE SHALL CONFORM TO THE LINES, GRADES AND CROSS-SECTION SHOWN IN THE PLANS, PRIOR TO THE SPREADING OF ANY ADDITIVE STABILIZING MATERIAL. THE SURFACE OF THE ROADBED SHALL BE BROUGHT TO A PLACE APPROXIMATELY PARALLEL TO THE PLANE OF THE PROPOSED FINISHED SURFACE.
- THE STABILIZING MATERIAL SHALL BE APPLIED IN SUCH QUANTITY AS IS NECESSARY TO PRODUCE THE REQUIRED BEARING VALUE. IT SHALL BE INCORPORATED WITH THE SUBGRADE BY FLOWING, DICING, HARROWING, BLADING OR MIXING WITH ROTARY TILLERS UNTIL THE MIXED MATERIALS ARE OF A UNIFORM BEARING VALUE FOR THE FULL WIDTH AND DEPTH OF THE COURSE BEFORE COMPACTION, REGARDLESS OF THE CHARACTER OR BEARING VALUE. ALL MATERIALS IN THE STABILIZING COURSE THAT WILL NOT PASS A 3-1/2" RING SHALL BE REMOVED OR BROKEN DOWN TO A SIZE NOT LARGER THAN 3-1/2 INCHES
- COMPACTION SHALL BE ACCOMPLISHED BY ROLLING WITH ANY TYPE OF EQUIPMENT WHICH WILL PRODUCE THE REQUIRED DENSITY. COMPACTION SHALL CONTINUE UNTIL THE ENTIRE DEPTH TO BE STABILIZED HAS A DENSITY OF NOT LESS THAN 98 PERCENT OF THE MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180, FIELD DENSITY TESTS SHALL BE MADE AT INTERVALS NOT GREATER THAN 500 FEET IN EACH COURSE OR LAYER.
- THE LIMEROCK SHALL BE TRANSPORTED TO THE POINT WHERE IT IS TO BE USED OVER BASE PREVIOUSLY PLACED, IF PRACTICABLE, AND DUMPED ON THE END OF THE PROCEEDING SPREAD, HAULING OVER THE SUBGRADE AND DUMPING ON THE SUB GRADE WILL BE PERMITTED ONLY WHEN IN THE VILLAGES' OPINION THESE OPERATIONS WILL NOT BE DETRIMENTAL TO THE BASE.
- THE LIMEROCK SHALL BE SPREAD UNIFORMLY, WITH EQUIPMENT ACCEPTABLE TO THE ENGINEER, ALL SEGREGATED OR OTHERWISE UNACCEPTABLE AREAS SHALL BE REMOVED AND REPLACED WITH PROPERLY GRADED ROCK, AFTER SPREADING IS COMPLETED, THE ENTIRE SURFACE SHALL BE SCARIFIED AND THEN SHAPED SO AS TO PRODUCE THE REQUIRED GRADE, THICKNESS AND CROSS-SECTION AFTER COMPACTION. LIFTS SHALL HAVE A MAXIMUM COMPACTED THICKNESS OF SIX INCHES.
- COMPACTION SHALL BE ACCOMPLISHED AT OPTIMUM MOISTURE. WHEN THE MATERIAL DOES NOT HAVE THE PROPER MOISTURE CONTENT TO INSURE THE REQUIRED DENSITY, WETTING OR DRYING WILL BE REQUIRED. ADDED WATER SHALL BE UNIFORMLY MIXED TO THE FULL DEPTH OF THE COURSE WHICH IS BEING COMPACTED.
- BEFORE ANY BITUMINOUS MATERIAL IS APPLIED, ALL LOOSE MATERIAL, DUST, DIRT, CAKED SLAY AND FOREIGN MATERIAL WHICH MIGHT PREVENT PROPER BOND WITH EXISTING SURFACE SHALL BE REMOVED FOR THE FULL WIDTH OF THE APPLICATION. PARTICULAR CARE SHALL BE TAKEN TO CLEAN THE OUTER EDGE OF THE STRIP TO BE TREATED IN ORDER TO ENSURE THAT THE PRIMER WILL ADHERE, WHERE THE PRIMER IS APPLIED ADJACENT TO CURB & GUTTER OR VALLEY GUTTER, SUCH CONCRETE SURFACES ARE TO BE PROTECTED AND KEPT FREE OF BITUMINOUS MATERIAL.
- NO BITUMINOUS MATERIAL SHALL BE APPLIED WHEN THE TEMPERATURE OF THE AIR IS LESS THAN 40 DEGREES F IN THE SHADE AND FALLING, OR WHEN IN THE OPINION OF THE VILLAGE, THE WEATHER CONDITIONS OR THE CONDITION OF THE EXISTING SURFACE IS UNSUITABLE.
- THE SURFACE TO BE PRIMED SHALL BE CLEAN AND DRY FOR LIMEROCK BASES. THE GLAZED FINISH SHALL BE REMOVED BEFORE THE APPLICATION OF PRIME COAT.
- WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH EXISTING PAVEMENT.

AS-BUILT DRAWINGS:

- CONTRACTOR TO SUBMIT AS-BUILT DRAWINGS TO THE CITY OF MIAMI PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL. AS-BUILT RECORD TOPOGRAPHICAL SURVEY **MUST** BE SIGNED AND SEAL BY A LICENSED LAND SURVEYOR AND SHALL BE SUBMITTED UPON COMPLETION OF WORK TO THE ENGINEERING DIVISION TO OBTAIN PUBLIC WORKS SING-OFF FOR CERTIFICATE OF OCCUPANCY.
- FINAL AS-BUILT DRAWINGS TO BE SUBMITTED TO THE CITY OF MIAMI PUBLIC WORKS DEPARTMENT IN THE FOLLOWING FORMAT:
 - ONE (1) SIGNED AND SEALED HARDCOPY
 - ONE (1) ELECTRONIC FILE (PDF)

STORMWATER NOTES

- LIFT HOLES THROUGH PRECAST STRUCTURES ARE NOT PERMITTED.
- ALL CEMENT USED ON DRAINAGE STRUCTURES SHALL BE A TYPE II PORTLAND CEMENT, CONFORMING TO ASTM SPECIFICATION C-150 AASHTO DESIGNATION M-85.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS, STRUCTURES SHALL BE PRECAST CONCRETE SECTIONS.
- MORTAR FOR USE IN CONSTRUCTION AND PLASTERING STRUCTURES SHALL CONFORM TO ASTM C-270 SPECIFICATIONS FOR MORTAR FOR UNIT MASONRY. A PORTLAND CEMENT HYDRATED LIME MIXTURE OR A MASONRY CEMENT MAY BE USED PROVIDED THAT THE SAME MATERIALS ARE USED THROUGHOUT THE PROJECT.
- MORTAR MATERIALS SHALL BE PROPORTIONED BY VOLUME AND SHALL CONSIST OF ONE PART TYPE II PORTLAND CEMENT TO TWO PARTS AGGREGATE (SAND). PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, "SPECIFICATIONS FOR PORTLAND CEMENT", AGGREGATE SHALL CONFORM TO ASTM C-144 "SPECIFICATIONS FOR AGGREGATE FOR MASONRY UNITS",
- PRECAST MANHOLE SECTIONS SHALL CONFORM TO ASTM C-478, SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS AS MODIFIED THERETO. CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. MINIMUM WALL THICKNESS SHALL BE 8 INCHES AND MINIMUM INSIDE DIAMETER SHALL BE 48 INCHES. THE INSIDE OF ALL STRUCTURES SHALL BEAR THE APPROVAL OF A CERTIFIED TESTING LABORATORY WHEN DELIVERED TO THE JOB SITE.
- ALL PIPE SHALL BE CAREFULLY LAID, TRUE TO THE LINES AND GRADES GIVEN. ANY PIPE THAT IS NOT IN TRUE ALIGNMENT OR WHICH SHOWS ANY SETTLEMENT AFTER INSTALLATION SHALL BE RE-INSTALLED AT NO ADDITIONAL COST TO THE VILLAGE.
- THE BASE AND WALLS THAT COMPOSE THE BOTTOM SECTION OF THE PRECAST STRUCTURES SHALL BE OF MONOLITHIC CONSTRUCTION, 8 INCHES THICK AND THE EDGE OF THE BASE SLAB SHALL PROJECT A MINIMUM 4 INCHES BEYOND THE OUTSIDE DIAMETER OF THE WALL.
- HOLES FOR PIPING SHALL BE MIN. 6 INCHES LARGER THAN THE OUTSIDE DIAMETER OF THE RESPECTIVE PIPES. AFTER THE PIPE IS SET, THE VOID SPACE BETWEEN THE PIPE AND THE HOLE PERIMETER SHALL BE COMPLETELY FILLED WITH NON-SHRINKING, QUICK-SETTING, WATERPROOF CEMENT MORTAR AND STRUCK SMOOTH.
- THE MINIMUM HEIGHT OF PRECAST BASE SECTION SHALL BE 36 INCHES FROM THE BOTTOM OF THE BASE SLAB; HOWEVER, NO HOLES FOR PIPING SHALL BE CAST LESS THAN 8 INCHES FROM THE TOP OF THE BASE SECTION OR LESS THAN 2 INCHES ABOVE THE TOP OF THE BASE SLAB.
- THE CONTRACTOR SHALL FURNISH THE ENGINEER SHOP DRAWINGS OF THE PRECAST STRUCTURES (AND CERTIFICATION FROM A TESTING LABORATORY) FOR APPROVAL. SHOP DRAWINGS SHOULD ILLUSTRATE ALL DIMENSIONS, REINFORCEMENT, AND SPECIFICATIONS FOR THE COMPLETE STRUCTURE.
- ALL CASTING SHALL BE TRUE TO PATTERN AND DIMENSIONS, FREE FROM FAULTS OR DEFECTS AND WELL CLEANEED.
- BEARING SURFACES BETWEEN CAST FRAMES, COVERS AND GRATES SHALL BE MACHINED AND FITTED TOGETHER TO ASSURE A TRUE AND EVEN FIT. WITHIN AREAS OF VEHICULAR TRAFFIC THE FRAMES, COVERS AND GRATING SHALL BE MACHINE-GROUND SO THAT IRREGULARITY OF CONTACT WILL BE REDUCED TO A MINIMUM AND WILL BE RATTLE PROOF.
- CONTRACTOR IS TO PREVENT INTRODUCTION OF DEBRIS OR DIRT INTO EXISTING STORM DRAINAGE AND/OR SANITARY SEWER SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL LINES AND STRUCTURES SHALL BE CLEANED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
- LOCATION OF DRAINAGE STRUCTURES GOVERN. ADJUST PIPE LENGTHS AS REQUIRED.
- WALL REINFORCEMENT AND THICKNESS FOR PRECAST STRUCTURES SHALL BE IN ACCORDANCE WITH ASTM C-478.
- MORTAR USED TO SEAL THE PIPE INTO THE WALLS OF THE PRECAST STRUCTURES WILL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE IN OR OUT OF THE STRUCTURES. THE MAXIMUM OPENING THROUGH WALLS FOR PIPE SHALL BE THE MAXIMUM REQUIRED OUTSIDE DIAMETER PLUS 6".
- ALL STRUCTURES SHALL BE SET PLUMB TO LINE AND GRADE AND SHALL REST ON A FIRM CAREFULLY GRADED SUB GRADE WHICH SHALL PROVIDE UNIFORM BEARING UNDER BASE.
- ALL MUCK OR OTHER UNSTABLE MATERIAL ENCOUNTERED IN TRENCH BOTTOM SHALL BE REMOVED AND BACKFILLED WITH GRANULAR MATERIAL COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180, METHOD "D".
- SHOP DRAWINGS FOR ALL STRUCTURES AND MATERIALS TO BE USED ON THE PROJECT SHALL BE SUBMITTED TO THE RESPECTIVE ENGINEERING AND UTILITY DEPARTMENTS FOR APPROVAL PRIOR TO CONSTRUCTION OR INSTALLATION.
- PROTECT COMPLETED DRAINAGE STRUCTURES FROM CONTAMINATION BY SILT AND CONSTRUCTION DEBRIS. PLACE FILTER FABRIC BETWEEN THE FRAME AND INLET GRATE UNTIL SITE CONSTRUCTION OPERATIONS ARE FINISHED.
- CONTRACTOR SHALL INSPECT AND CLEAN ALL EXISTING STRUCTURES AND PIPES WITHIN THE PROJECT LIMITS. IF EXISTING STRUCTURES AND PIPES ARE DAMAGED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONNECTION WITH THE NEW PIPE OR STRUCTURE. CONTRACTOR TO ENSURE ALL STORMWATER PIPING AND STRUCTURES ARE CLEANED PRIOR TO PROJECT CLOSEOUT.
- ADJUST ALL EXISTING STRUCTURES TO NEW GRADE ELEVATIONS.

PAVEMENT MARKINGS AND SIGNAGE

- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND IN COMPLIANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711 THERMOPLASTIC TRAFFIC STRIPES AND MARKINGS."
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "ROADWAY AND TRAFFIC DESIGN STANDARDS," LATEST EDITION, AND TO THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- ALL EXISTING MARKINGS IN CONFLICT WITH THE PROPOSED DESIGN SHALL BE REMOVED.
- TRAFFIC SIGNS:
 - MATERIALS: FOLLOW SECTION 700 OF THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION; AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) BY THE U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
 - PLACEMENT: IN ACCORDANCE WITH PART 2 OF THE MUTCD.
- ALL TRAFFIC CONTROL SIGNAGE, EQUIPMENT AND MATERIALS TO BE APPROVED BY MIAMI-DADE PUBLIC WORKS DEPARTMENT TRAFFIC SIGNALS AND SIGNS DIVISION PRIOR TO INSTALLATION.

SITE CALCULATIONS

GENERAL INFORMATION

Zoning	Current Zoning:	T6-S-O Urban Core Zone			
	Proposed Zoning:	T6-S-O Urban Core Zone			
Info	Detail	Square Footage	Acres	Percentage	Description
	Gross Area:	52,408.663	1.20	-- --	
	Right-of-Way Area	17,311.021	0.40	-- --	
	Net Area:	35,097.662	0.81	-- --	
	Net Usable Area:	35,097.662	0.81	100.00%	
	Building Area (Footprint)	8,183.299	0.19	23.32%	
	Ingress-Egress Area	1,949.640	0.04	5.55%	
	Parking Area	21,153.281	0.49	60.30%	
	Pedestrian Walks:	2,538.000	0.06	7.23%	
General Area	Recreation Area	0.000	0.00	0.00%	
	Green Area (Previous)	3,213.087	0.07	9.15%	

BUILDING

Details	Total Number of Building(s):	2 Building(s)			
	Number of Story:				Exist. One Story
	Area Building (Interior)	1,901.770	0.04	3.63%	South Location
	Total Building Area:	1,901.770	0.04		
	Number of Story:				Exist. One Story
	Area Building (Interior)	3,306.425	0.08	9.42%	North Location
	Total Building Area:	3,306.425	0.08		
	Number of Story:				Prop. One Story
	Area Building (Interior)	2,975.104	0.07	8.48%	
	Total Building Area:	2,975.104	0.07		

MEWS

Details	Building Used:	Commercial			
	Existing:	Lounge/Club			
	Proposed:	Gymnasium			

PARKING SUMMARY

		REQUIRED	PROVIDED (Existing)	PROPOSED (New)
Parking	Parking Requirements As Per Article 4, Table 5		One Parking Space for each Berth (Berth Size 420 sq. ft.)	
	Handicap Spaces	3	1	3
	Standard Spaces	12	24	52
	Loading Zones Spaces	1	0	1
	Total Spaces	16	25	56

BUILDING DISPOSITION

LOT OCCUPATION

		REQUIRED		PROVIDED (Existing)	PROPOSED (New)
a.	Lot Area	5,000 s.f. min.; 40,000 s.f. max.		35,097.662 sq. ft.	N/A
	b. Lot Width	50 ft. min.		140 ft.	N/A
	c. Lot Coverage				
	1-3 Stories	80% Max	28076.129 sq. ft.	1,901.770 sq. ft.	2,975.104 sq. ft.
	Above 3rd Story	15,000 sq. ft. max. Floorplate for Residential & Lodging			
		30,000 sq. ft. max. Floorplate for Office & Commercial			
	d. Floor/Lot Ratio (F/LR)	5/25% additional Public Benefit	T6-S-O	YES	N/A
	e. Frontage at Front Setback	70% min.		0 sq. ft.	504.6195 sq. ft.
	f. Open Space Requirements	10% Lot Area min.	3509.766 sq. ft.	379.442 sq. ft.	3,213.067 sq. ft.
	g. Density	150 du/acre max	N/A		N/A

BUILDING SETBACK

Existing Building Location: Northernly of the Property					
a.	Principal Front (N.E. 80th Street)	10 ft. min.; 20 ft. min. above 8th Story		30'-1"	30'-1"
b.	Secondary Front (N.E. 3rd Court)	10 ft. min.; 20 ft. min. above 8th Story		0'-4"	0'-4"
c.	Side	0 ft. min.; 30 ft. min. above 8th Story		5'-0"	72'-4"
d.	Rear (N.E. 79th Street)	0 ft. min.; 30 ft. min. above 8th Story		173'-0"	173'-0"
e.	Abutting Side or Rear T5	0 ft. min.; 1st through 5th Story	N/A		N/A
		10 ft. min.; 6th through 8th Story	N/A		N/A
		30 ft. min.; above 8th Story	N/A		N/A
Abutting Side or Rear T4		6 ft. min.; 1st through 5th Story	N/A		N/A
		28 ft. min.; 6th through 8th Story	N/A		N/A
	Abutting Side or Rear T3	10 % of Lot depth ** min.; 1st through 2nd Story	N/A		N/A
Abutting Side or Rear T3		28 ft. min.; 3rd through 5th Story	N/A		N/A
		48 ft. min.; above 5th Story	N/A		N/A
Existing Building Location: Southeasternly of the Property					
a.	Principal Front (N.E. 3rd Court)	10 ft. min.; 20 ft. min. above 8th Story		64'-10"	N/A
b.	Secondary Front (N.E. 79th Street)	10 ft. min.; 20 ft. min. above 8th Story		0'-2"	N/A
c.	Side	0 ft. min.; 30 ft. min. above 8th Story		49'-10"	N/A
d.	Rear (N.E. 80th Street)	0 ft. min.; 30 ft. min. above 8th Story		173'-8"	N/A
e.	Abutting Side or Rear T5	0 ft. min.; 1st through 5th Story	N/A		N/A
		10 ft. min.; 6th through 8th Story	N/A		N/A
		30 ft. min.; above 8th Story	N/A		N/A
Abutting Side or Rear T4		6 ft. min.; 1st through 5th Story	N/A		N/A
		28 ft. min.; 6th through 5th Story	N/A		N/A
	Abutting Side or Rear T3	10 % of Lot depth ** min.; 1st through 2nd Story	N/A		N/A
Abutting Side or Rear T3		28 ft. min.; 3rd through 5th Story	N/A		N/A
		48 ft. min.; above 5th Story	N/A		N/A
Proposed Building Location: Southwestery of the Property (Not part of this Permit & Under Separate Permit) BD12-005273-001-B001 Job Description: Phased Permi					

BUILDING CONFIGURATION

FRONTAGE

a.	Common Lawn	prohibited	N/A	N/A
b.	Porch & Fence	prohibited	N/A	N/A
c.	Terrace or L.C.	prohibited	N/A	N/A
d.	Forecourt	permitted	N/A	N/A
e.	Stoop	permitted	N/A	N/A
f.	Shopfront	permitted (T6-S-L & T6-S-O only)	N/A	YES
g.	Gallery	permitted by Special Area Plan	N/A	N/A
h.	Arcade	permitted by Special Area Plan	N/A	N/A

BUILDING HEIGHT

a.	Min. Height	2 Stories			1 Story-16'-8"	See Architectural Plans
b.	Max. Height	8 Stories			1 Story-16'-8"	See Architectural Plans
c.	Max Benefit Height	4 Stories Abuting all Trained Zones except T3	N/A			N/A

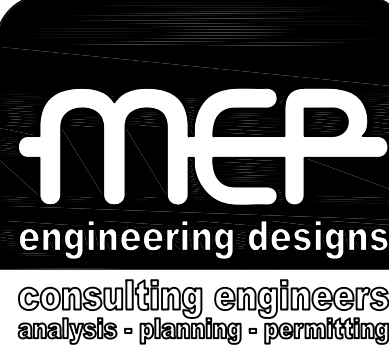
* or as modified in Diagram 9

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.

Sing & Seal:

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△	Revisions	Date
1	METRO DADE	11/13/12
2	CONTRACTOR	04/03/13

Sheet Title:

GENERAL NOTES
CONSTRUCTION PLANS

TAKE ONE COCKTAIL LOUNGE

340 N.E. 80th STREET
MIAMI, FL 33138

Project Located In:

Project Title:

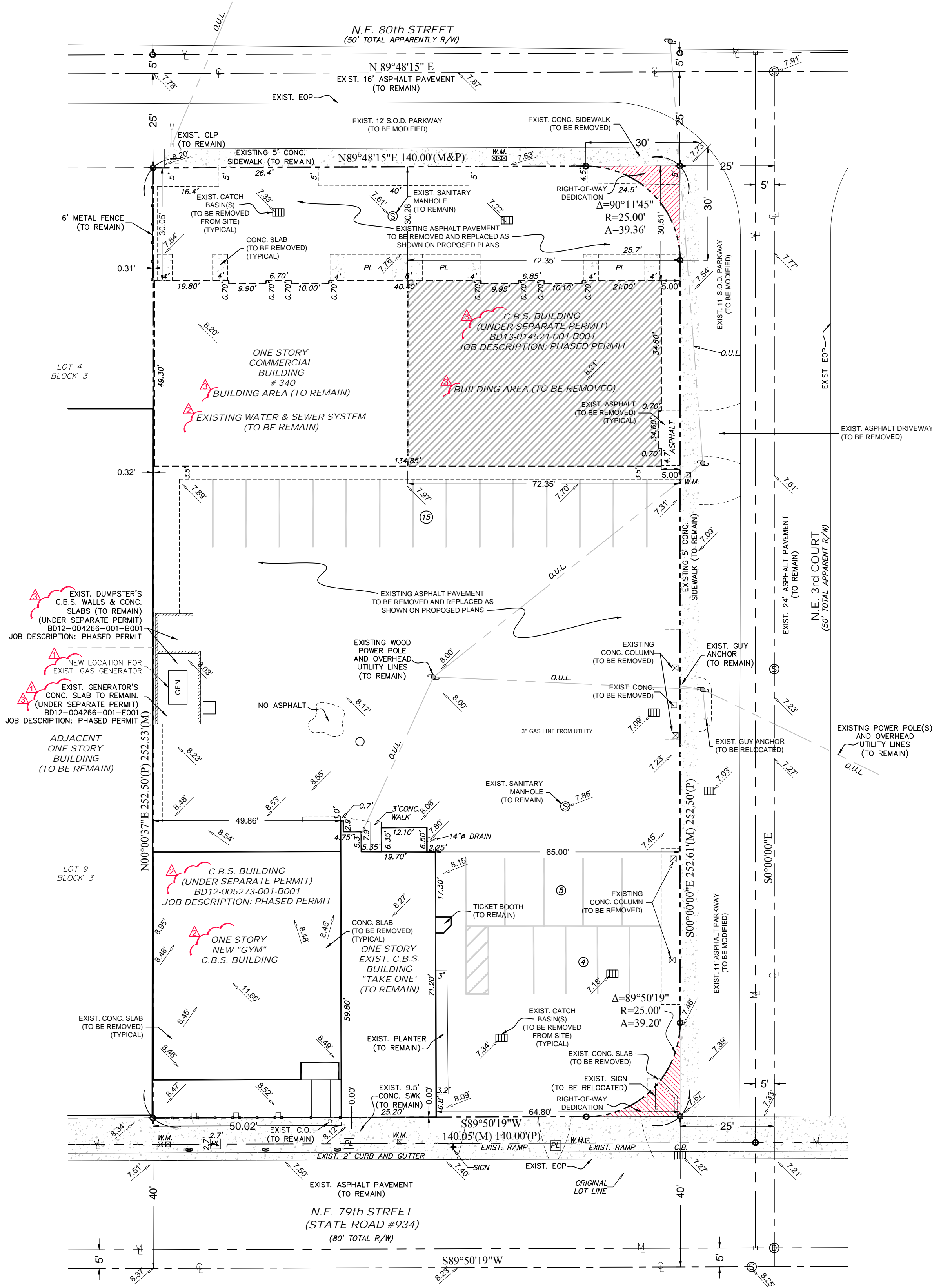
Project No:	Date:
	03/17/2012

Sheet

C-0.1

3 of 10 Sheets





DEMOLITION LEGEND:	
Existing To Remain	
Existing To Be Removed	
Existing Structure To Be Removed	

DEMOLITION PLAN

EXIST. CONDITIONS

SCALE: 1" = 20'

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CONTRACTORS SHALL VERIFY ALL
DIMENSIONS AND SHALL NOT RELY ON
SCALED DIMENSIONS. NOTIFY THE
ENGINEER OF ANY DISCREPANCIES PRIOR
TO COMMENCING WORK.

Revisions	Date
1 METRO DADE	11/13/12
2 CONTRACTOR	04/03/13

DEMOLITION PLAN CONSTRUCTION PLANS

TAKE ONE COCKTAIL LOUNGE

340 N.E. 80th STREET
MIAMI, FL 33138

C-1

4 of 10 Sheets

EXISTING LEGEND & ABBREVIATIONS

LEGEND	
A	= Arc
ASPH	= Asphalt
BM	= Bench Mark
BRG	= Bearing
CB	= Catch basin
CBS	= Concrete Block Structure
CH	= Chord
Chattha	= Chattahoochee
C	= Center Line
CLF	= Chain Link Fence
CL	= Clear
CONC	= Concrete
D	= Delta
Ø	= Diameter
DH	= Drill Hole
DME	= Drainage & Maintenance Easement
E.B.	= Electric Box
Enc.	= Encroachment
F.F.	= Finish Floor
F.H.	= Fire Hydrant
F.I.R.	= Found Iron Rebar
FPL	= Florida Power & Light
F.I.P.	= Found Iron Pipe
FD	= Found
L.P.	= Light Pole
M	= Measured
M.F.	= Metal Fence
M.H.	= Manhole
M	= Monument Line
MON.	= Monument
N/A	= Not Applicable
N/D	= Nail & Disc
NTS	= Not to Scale
O/S	= Offset
O.U.L.	= Overhead Utility Lines
OH	= Overhang
P	= Plat
PB	= Plat Book
PC	= Point of Curvature
PCP	= Permanent Control Point
PG	= Page
P.I.	= Point of Intersection
P	= Property Line
PL	= Platter
P.O.B.	= Point of Beginning
P.O.C.	= Point of Commencement
P.P.	= Power Pole
P.R.M.	= Permanent Reference Monument
P.R.C.	= Point of Reverse Curvature
PT	= Point of Tangency
R	= Radius
R/R	= Railroad
PSM	= Professional Surveyor Mapper
R/W	= Right-of-Way
SWK	= Sidewalk
Sec.	= Section
(TYP)	= Typical
T	= Tangent
U.E.	= Utility Easement
W.F.	= Wood Fence
W.M.	= Water Meter
W.V.	= Water Valve
+	= Denotes Existing Spot Elevations
#	= Denotes Number of Existing Parking Spaces

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Revisions	Date
1 METRO DADE	11/13/12
2 CONTRACTOR	04/03/13

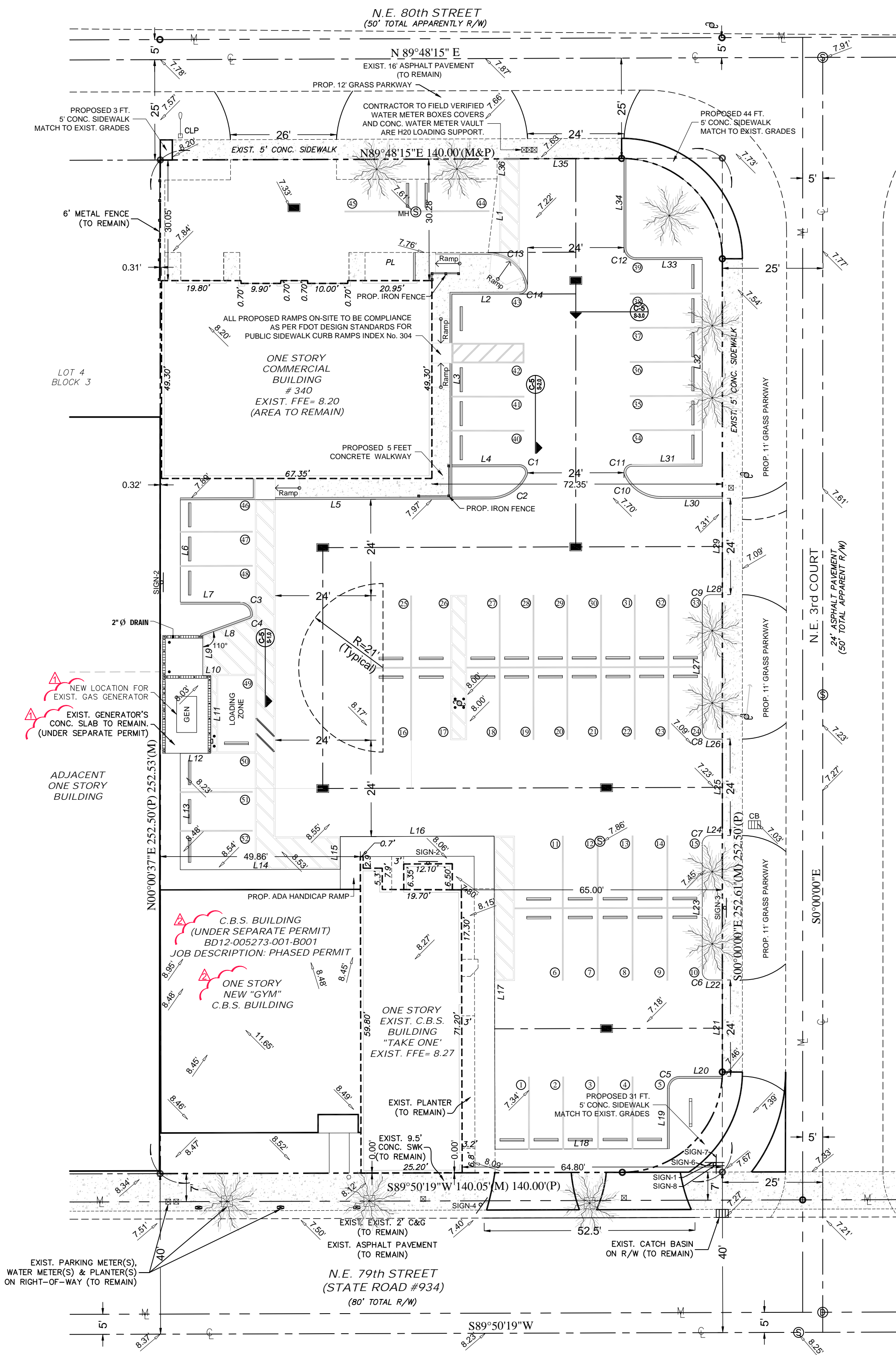
SITE PLAN CONSTRUCTION PLANS

TAKE ONE COCKTAIL LOUNGE

340 N.E. 80th STREET MIAMI, FL 33138

C-2

5 of 10 Sheets



ABBREVIATION	DEFINITION
L #	LINE NUMBER (PLEASE REFER TO PROP. GEOMETRY DATA TABLE BELOW)
C #	CURVE NUMBER (PLEASE REFER TO PROP. GEOMETRY DATA TABLE BELOW)

PROPOSED GEOMETRY DATA					
CURVE No. OR LINE No.	LINE DATA		CURVE No. OR LINE No.	LINE DATA	
	BEARING	LENGTH (FT.)		BEARING	LENGTH (FT.)
L1	S06°57'12"W	18.471	L19	N00°00'00"E	15.009
L2	S89°50'19"W	16.846	L20	N89°50'19"E	10.694
L3	S00°00'37"W	42.500	L21	N00°00'00"E	24.000
L4	N89°50'19"E	16.835	L22	S89°50'19"W	2.994
L5	S89°50'19"W	77.314	L23	N00°00'00"E	32.000
L6	S00°00'37"W	25.500	L24	N89°50'19"E	3.006
L7	S89°59'23"E	15.000	L25	N00°00'00"E	24.000
L8	S70°00'37"W	12.494	L26	S89°50'19"W	2.994
L9	S00°00'37"W	10.000	L27	N00°00'00"E	32.000
L10	S89°59'23"E	2.000	L28	N89°50'19"E	3.006
L11	S00°00'37"W	19.333	L29	N00°00'00"E	24.000
L12	N89°59'23"W	7.600	L30	S89°50'19"W	15.290
L13	S00°00'37"W	29.021	L31	N89°50'19"E	17.521
L14	N89°50'19"E	39.871	L32	N00°00'00"E	51.000
L15	N00°09'41"W	8.160	L33	S89°50'19"W	16.496
L16	N89°50'19"E	38.350	L34	N00°00'37"E	22.210
L17	S00°09'41"E	78.000	L35	S89°48'15"W	31.616
L18	N89°50'19"E	42.931	L36	S00°11'45"E	5.000

CURVE No. OR LINE No.	CURVE DATA				
	Δ (D-M-S)	RADIUS (FT.)	ARC LENGTH (FT.)	CHORD LENGTH (FT.)	CHORD BEARING
C1	115°43'06"	2.000	4.039	3.387	S32d18'08"E
C2	64°16'54"	10.000	11.219	10.640	S57°41'52"W
C3	92°41'29"	3.000	4.846	4.334	S43d44'10"E
C4	70°42'36"	1.000	1.185	1.111	S36°15'50"W
C5	89°50'19"	3.000	4.704	4.237	N44°55'10"E
C6	90°09'41"	2.000	3.147	2.832	N45°04'50"W
C7	89°50'19"	2.000	3.136	2.824	N44°55'10"E
C8	90°09'41"	2.000	3.147	2.832	N45°04'50"W
C9	89°50'19"	2.000	3.136	2.824	N44°55'10"E
C10	64°16'54"	10.000	11.219	10.640	N58°01'14"W
C11	115°43'06"	2.000	4.039	3.387	N31°58'46"E
C12	90°10'18"	3.000	4.721	4.249	N45°04'32"W
C13	78°08'13"	10.000	13.637	12.605	S50°55'53"E
C14	101°42'06"	2.00	3.550	3.102	S38°59'16"W

LEGEND & ABBREVIATIONS

ABBREVIATION	SYMBOL	DEFINITION	ABBREVIATION	SYMBOL	DEFINITION	ABBREVIATION	SYMBOL	DEFINITION	ABBREVIATION	SYMBOL	DEFINITION
ASP.	---	ASPHALT PAVEMENT	N _o	○	NUMBER MEASUREMENT AS PER PLAT	D	Δ	DELTA			
BOLL.	●	PROP. BOLLARD	(P)		PLAT BOOK	R	R=	RADIUS			
CB	---	BUILDING BASE LINE	P.B.		PAGE	A	L=	ARC LENGTH			
CB	---	EXISTING CATCH BASIN	P.G.		PROPERTY LINE	T	T=	TANGENT			
CB	---	PROPOSED CATCH BASIN	PRO	○	PROPOSED RECORD	C.B.		CHORD BEARING			
CONC.	---	CONCRETE	(R)	○	RECORD	C.D.		CHORD DISTANCE			
EB	---	ELECTRIC BOX		○	RIGHT-OF-WAY	e	○	DIAMETER			
EXIST.	---	EXISTING	R/W	---	RIGHT-OF-WAY		○	WHEEL STOP			
ELEV.	---	EXISTING ELEVATION	SMH	---	STORM-SANITARY MANHOLE						
ELEV.	---	PROPOSED ELEVATION	SMH	---	STORM-SANITARY MANHOLE						
FEET	---	FEET	W	---	WOOD FENCE						
MANH.	---	MANHOLE (NO IDENTIFIED)	W	---	WOOD FENCE						
M.P.	---	MEASURED	W	---	WOOD FENCE						
M.P.	---	METAL LIGHT POLE	W	---	WOOD FENCE						

SITE PLAN

SCALE: 1" = 20'

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.

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Revisions	Date
1 METRO DADE	11/13/12
2 CONTRACTOR	04/03/13

PAVING, GRADING & DRAINAGE CONSTRUCTION PLANS

TAKE ONE COCKTAIL LOUNGE

340 N.E. 80th STREET
MIAMI, FL 33138

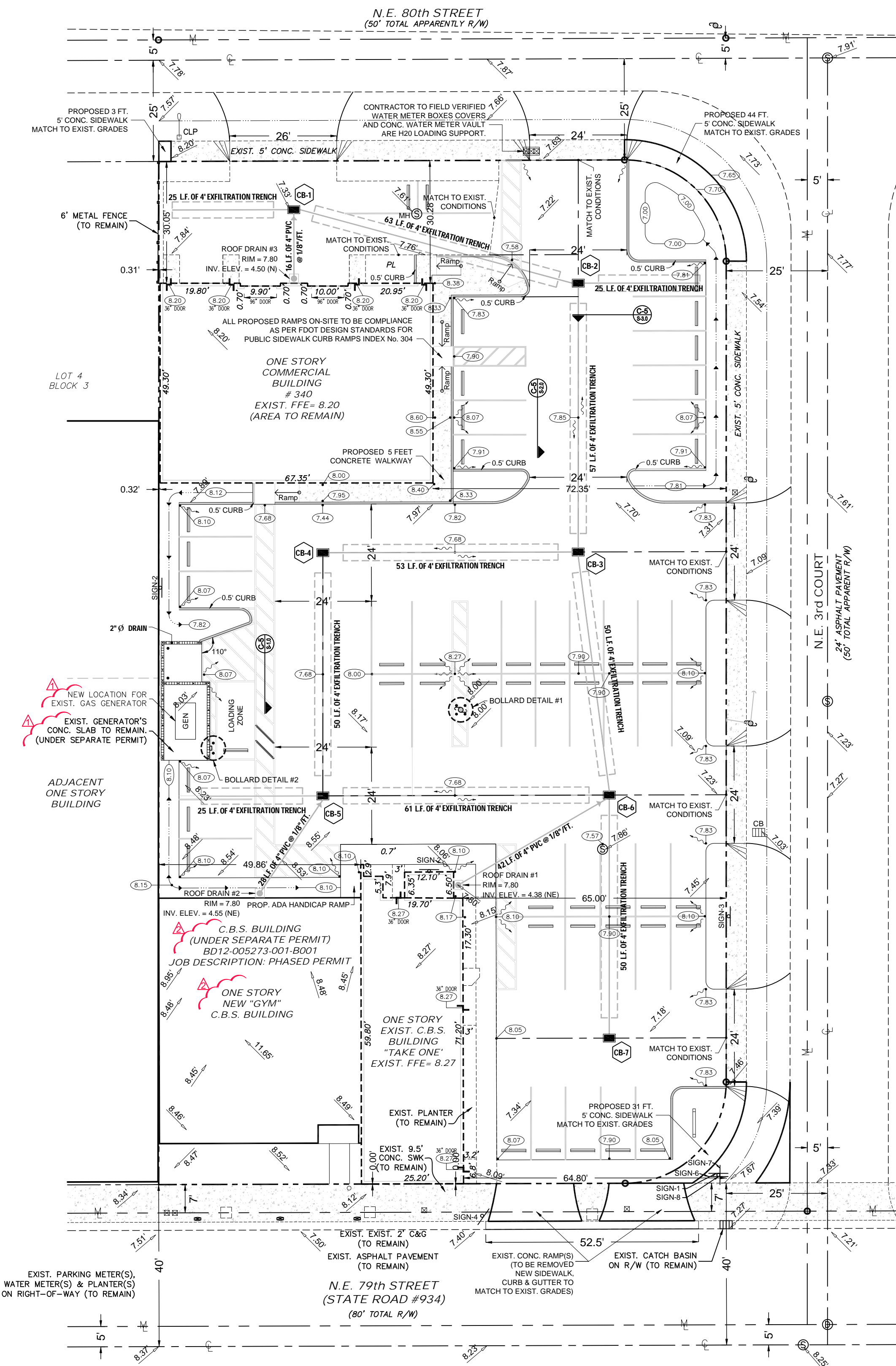
Project Title:

Project Location:

Project No:	Date:
Sheet	03/17/2012

C-3

6 of 10 Sheets



STRUCTURE TABLE

STRUCTURE NUMBER	STRUCTURE TYPE	INLET TYPE	RIM, THROAT OR FLOW LINE ELEV.	INVERT ELEVATION				PIPE SIZE Ø	L.F. OF SOLID H.D.P.E. PIPE	L.F. OF PERFORATED H.D.P.E. PIPE	*G* BAFFLE (FIBER GLASS) & BOTTOM ELEV.	BOTTOM OF STRUCTURE ELEVATION
				NORTH	SOUTH	EAST	WEST					
CB-01	"P" - ALTERNATE "B"	42" INLET	7.30	-	-	2.95	2.95	15"	5(E),5(W)	25(E),63(W)	1.45(E,W)	(-)7.7
CB-02	"P" - ALTERNATE "B"	42" INLET	7.30	-	2.95	2.95	2.95	15"	5(S),5(E),5(W)	57(S),63(E),25(W)	1.45(S,E,W)	(-)7.7
CB-03	"P" - ALTERNATE "B"	42" INLET	7.30	2.95	2.95	-	2.95	15"	5(N),5(S),5(W)	57(N),50(S),53(W)	1.45(N,S,W)	(-)7.7
CB-04	"P" - ALTERNATE "B"	42" INLET	7.30	-	2.95	2.95	-	15"	5(S),5(E)	51(S),53(E)	1.45(S,E)	(-)7.7
CB-05	"P" - ALTERNATE "B"	42" INLET	7.30	2.95	-	2.95	2.95	15"	5(N),5(E),5(W)	50(N),61(E),25(W)	1.45(N,E,W)	(-)7.7
CB-06	"P" - ALTERNATE "B"	42" INLET	7.30	2.95	2.95	-	2.95	15"	5(N),5(S),5(W)	50(N),50(S),61(W)	1.45(N,S,W)	(-)7.7
CB-07	"P" - ALTERNATE "B"	42" INLET	7.30	2.95	-	-	-	15"	5(N)	50(N)	1.45(N)	(-)7.7

TOTAL LINEAL FEET OF SOLID PIPE =	15"	85
TOTAL LINEAL FEET OF 48" TRENCH =		459

PAVING, GRADING & DRAINAGE

SCALE: 1" = 20'

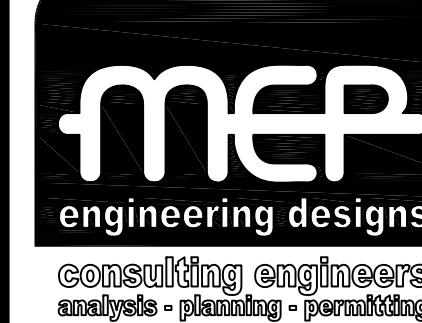
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Sing & Seal:

EVELIO RODRIGUEZ
P.E.#74127

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△	Revisions	Date
1	METRO DADE	11/13/12
2	CONTRACTOR	04/03/13

TRAFFIC PLAN

CONSTRUCTION PLANS

Sheet Title:

TAKE ONE COCKTAIL LOUNGE

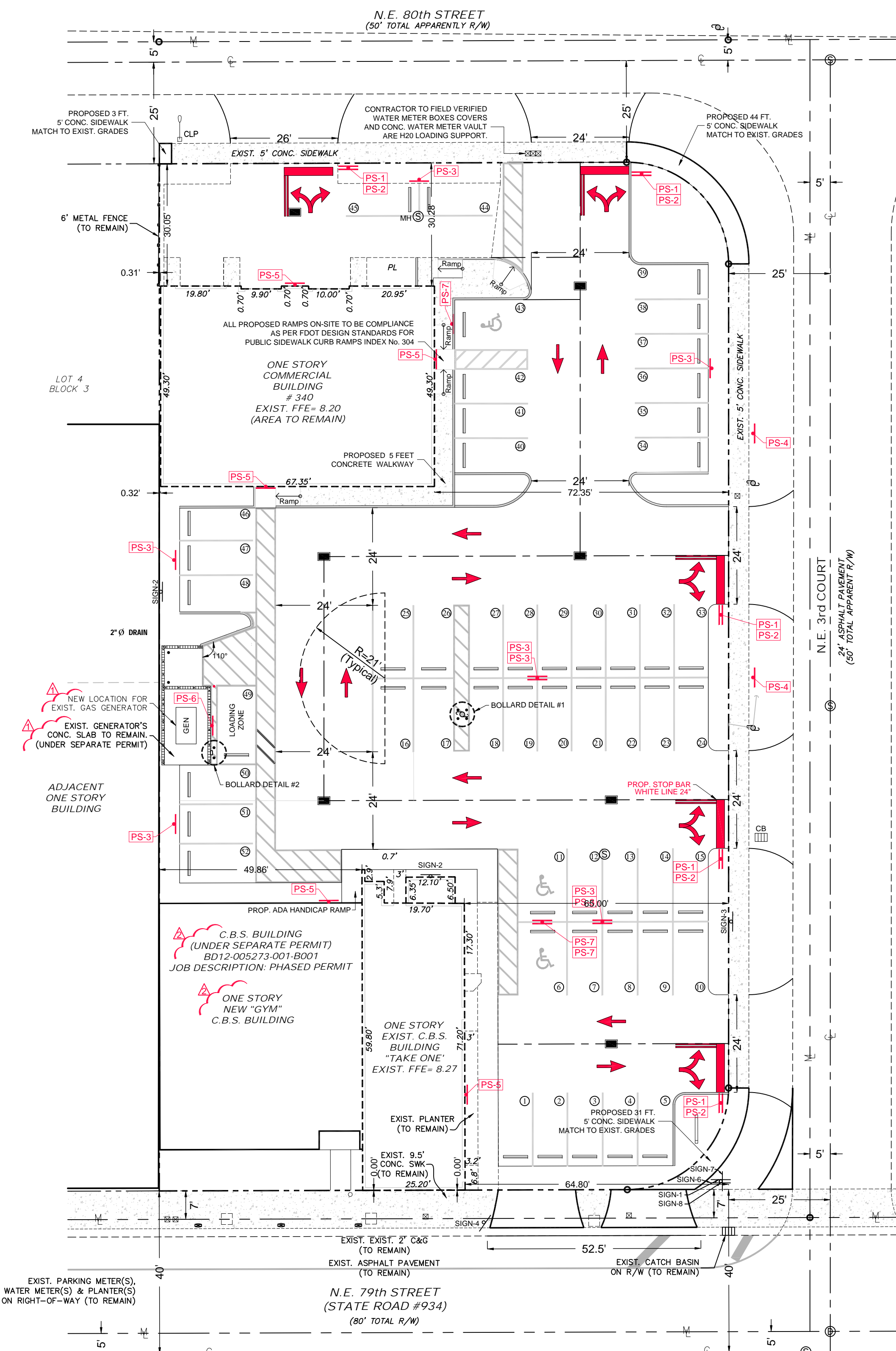
340 N.E. 80th STREET
MIAMI, FL. 33138

Project Located In:




Project No:	Date:
	03/17/2012
Sheet	

C-4







7 of 10 Sheets




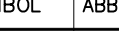
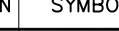

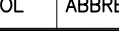


TRAFFIC LEGEND

ABBREVIATION	SYMBOL	DEFINITION
		NEW STOP BAR WHITE LINE 24"
PS-#		NEW TRAFFIC SIGN.
SIGN-#		EXISTING TRAFFIC SIGN

PROPOSED SIGNS

ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL
PS-1 (R1-1)		PS-2		PS-3		PS-4 (R7-1)		PS-5		PS-6 (R7-6)		PS-7	

EXISTING TRAFFIC & GENERAL SIGNS (TO REMAIN)

ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL	ABBREVIATION	SYMBOL
SIGN-1 (R1-1)		SIGN-2		SIGN-3		SIGN-4 (R7-1)		SIGN-6		SIGN-7		SIGN-8	

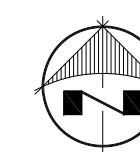
TRAFFIC PLAN

SCALE: 1" = 20'

ENGINEER'S CERTIFICATE:

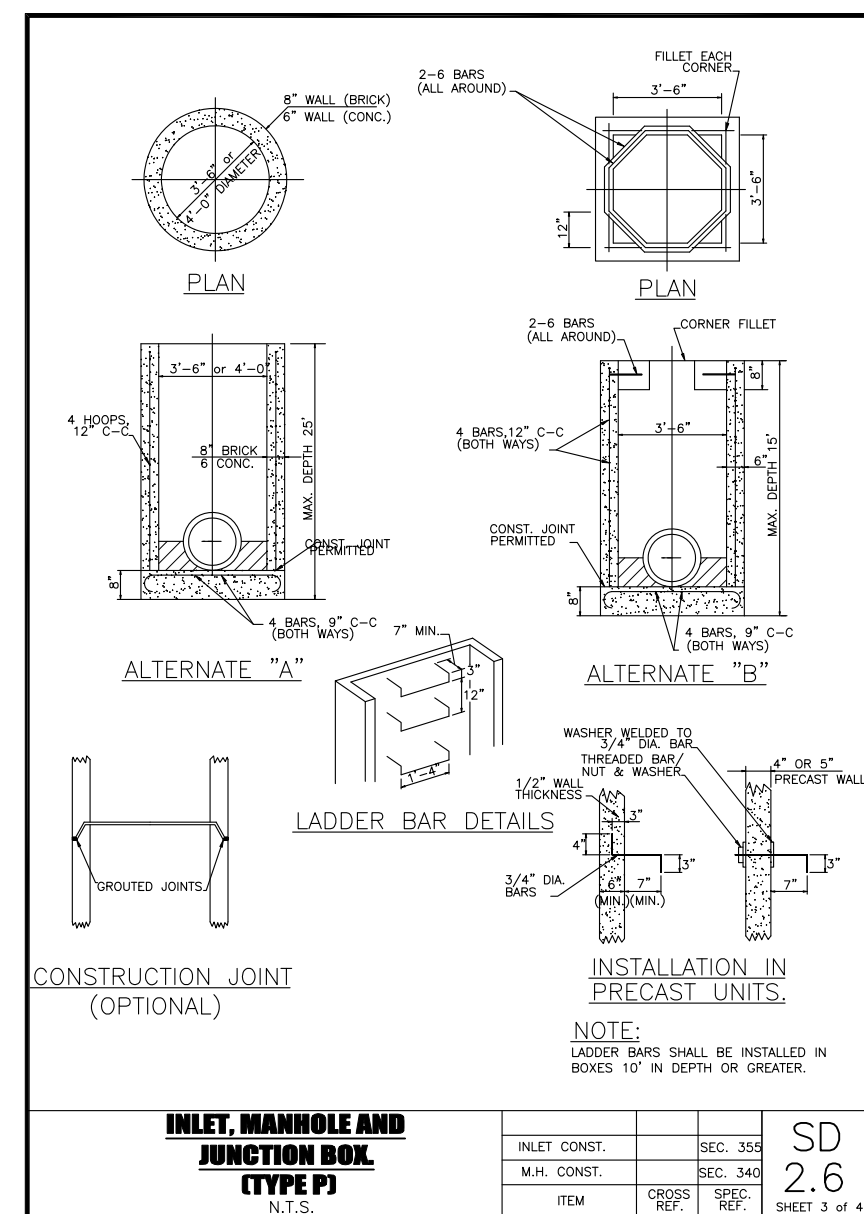
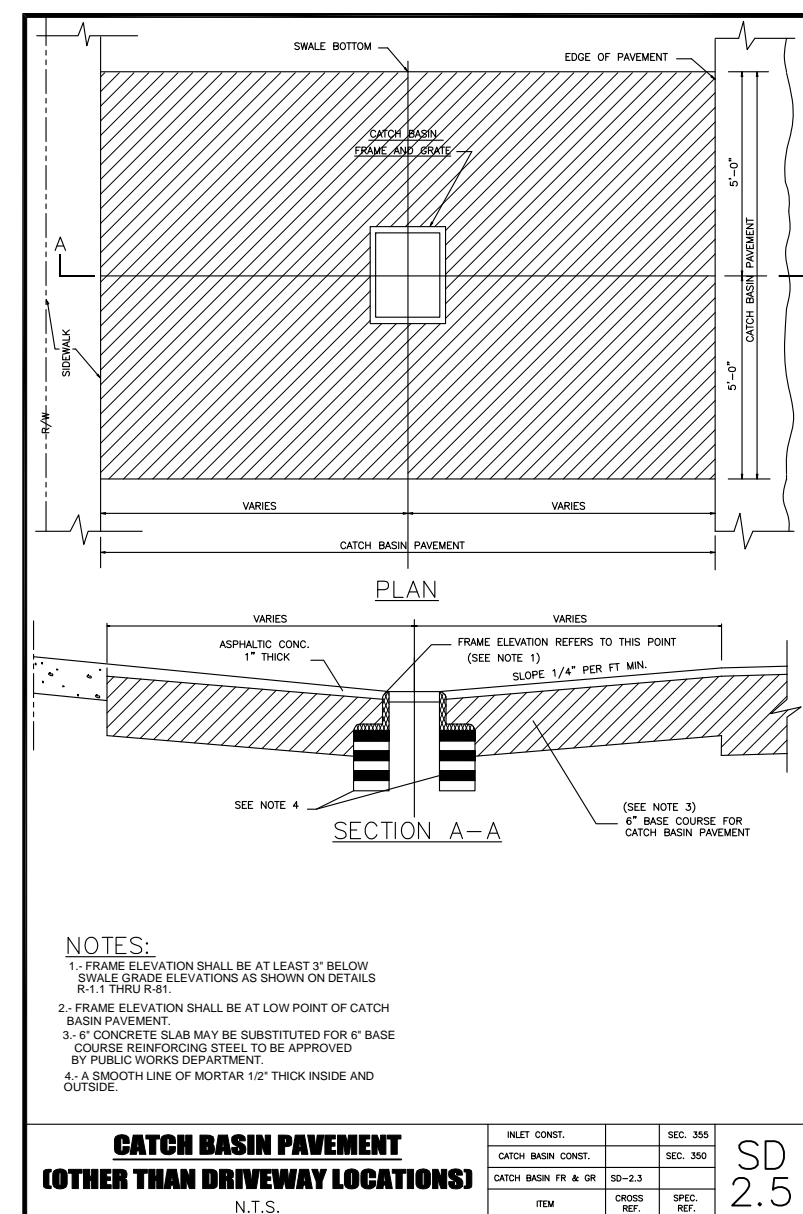
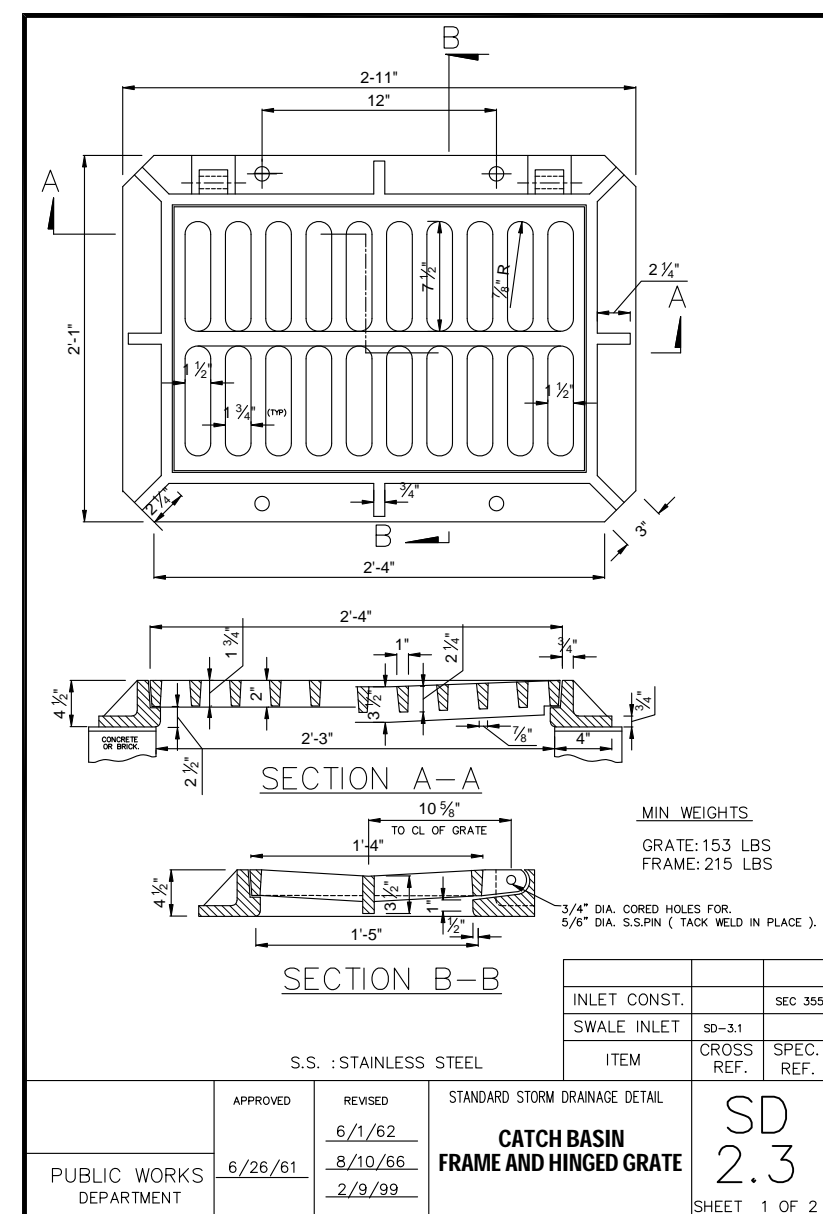
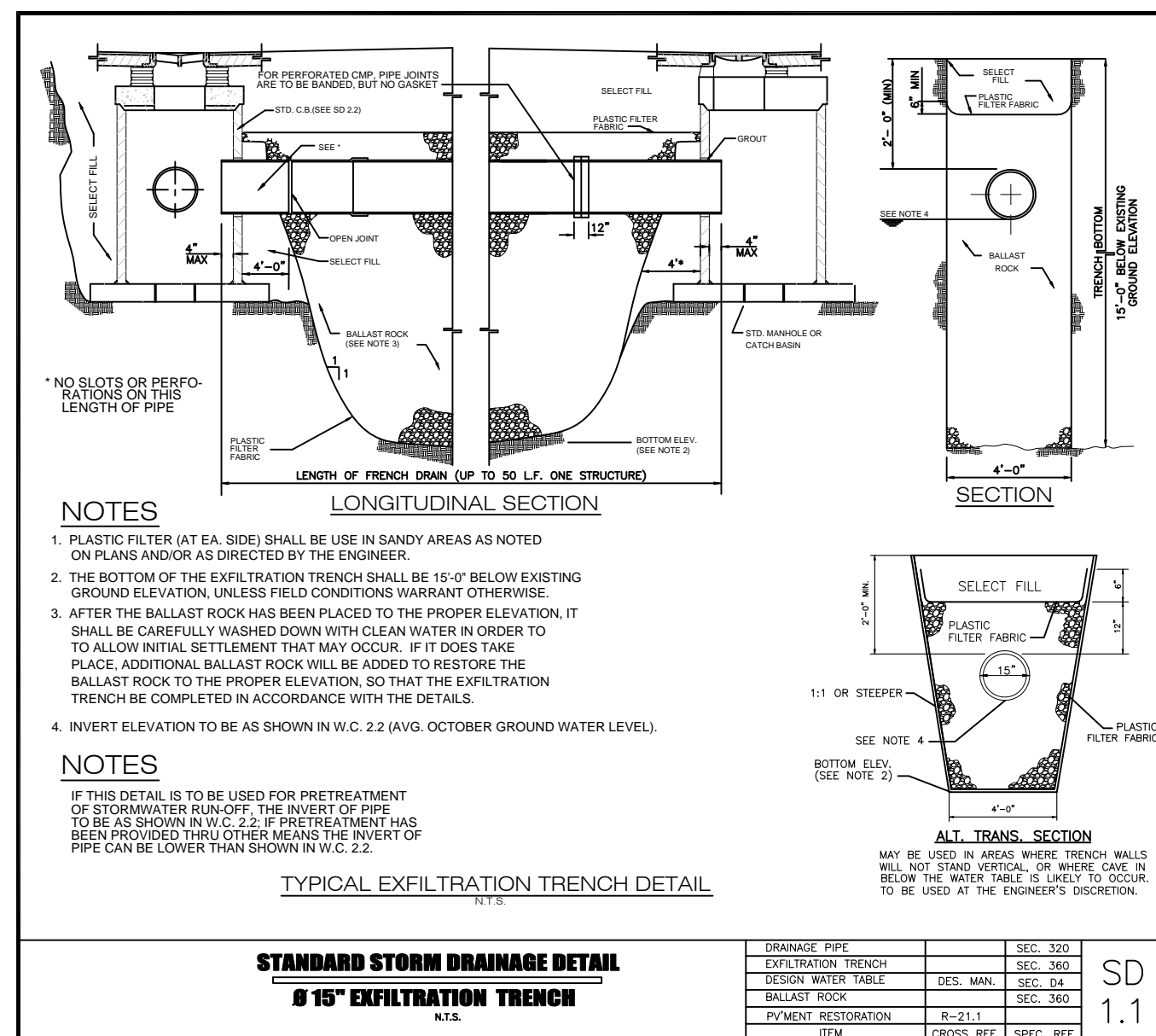
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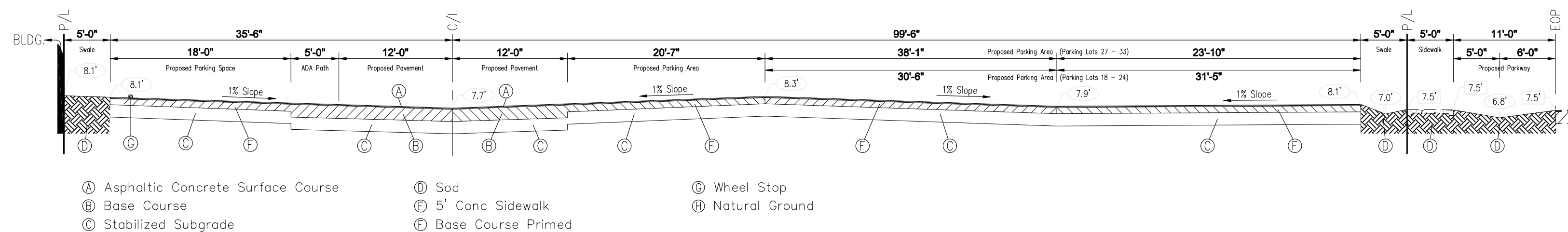
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P.E.#74127



GENERAL NOTES:

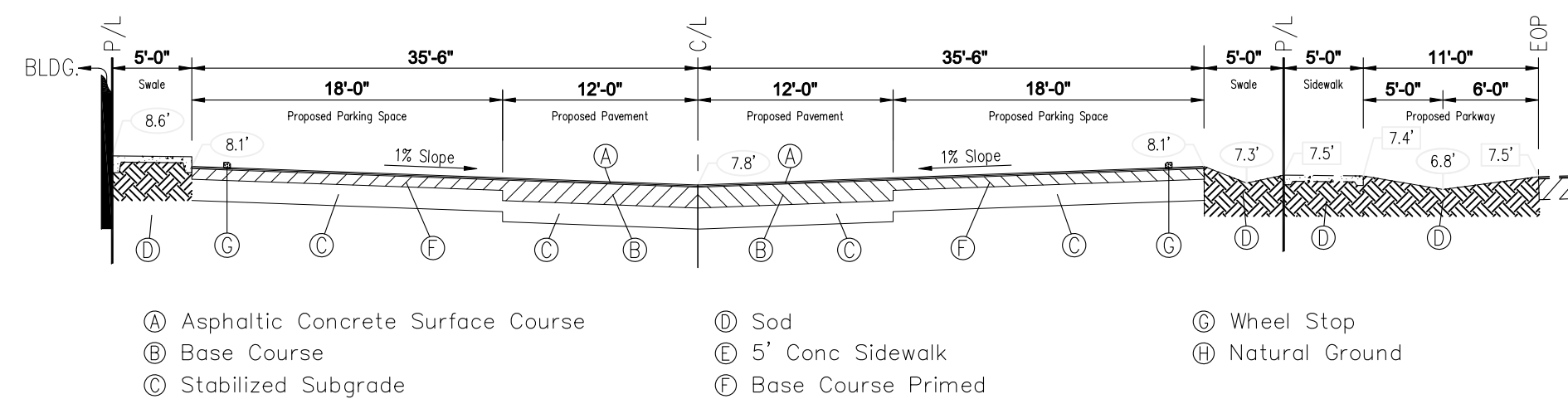
1. INLET STRUCTURES (PER 5.0-2.6 TYPE"PT") 42" WIDE
PRECAST CIRCULAR STRUCTURES (SLOTTED-BY) SHALL BE CONSTRUCTED OF CONCRETE ONLY. THE CONCRETE MAY BE CAST-IN-PLACE OR PRECAST.
2. WALL REINFORCEMENT AND THICKNESS ARE FOR EITHER CAST-IN-PLACE OR PRECAST CONCRETE EXCEPT THAT FOR PRECAST CIRCULAR UTILITY ASTM SPECIFICATIONS, TABLE 10.1, SHALL BE USED TO DETERMINE CONCRETE PIPE OR PRECAST CIRCULAR UTILITY IN ACCORDANCE WITH ASTM SPECIFICATION C-478 WILL BE ACCEPTABLE TOP AND FLOOR SLAB THICKNESS AND THE REINFORCEMENT SHALL BE AS FOLLOWS FOR ALL PRECAST CIRCULAR UTILITY.
3. PRECAST TOP AND/OR FLOOR SLABS MAY BE OF THE SAME CONCRETE AS SPECIFIED IN ASTM SPECIFICATIONS C-478 FOR PRECAST CIRCULAR UTILITY.
4. SMOOTH FLOW CHANNELS COMPOSED OF CONCRETE, OR BRICK OR MORTAR, SHALL BE FILLETED IN THE BOTTOMS OF ALL STRUCTURES TO A DEPTH EQUAL TO THE RADIUS OF THE CURVE.
5. CORNER FILLETS SHOWN FOR RECTANGULAR STRUCTURES ARE NECESSARY ONLY WHEN STRUCTURES ARE USED IN CONJUNCTION WITH CIRCULAR TOPS.
6. STRUCTURES SHALL BE SECURED TO LIFT THROATS, RISERS OR MANHOLE TOPS WITH A MINIMUM OF 6-NO 4 BARS 12" LONG. OR AS SHOWN ON SHEET 2.
7. MORTAR USED TO SEAL THE PIPE IN THE WALLS OF THE PRECAST UTILITY SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UTILITY. THE PREPARED MIXTURE SHALL BE AS FOLLOWS:
10. CONCRETE PROTECTION FOR REINFORCEMENT IN CAST-IN-PLACE OR PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 7, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-71)".

<u>INLET, MANHOLE AND JUNCTION BOX.</u> (TYPE P & J) N.T.S.				SD 2.6 SHEET 4 of 4
	INLET CONST.		SEC. 355	
	M.H. CONST.		SEC. 340	
	ITEM	CROSS REF.	SPEC. REF.	



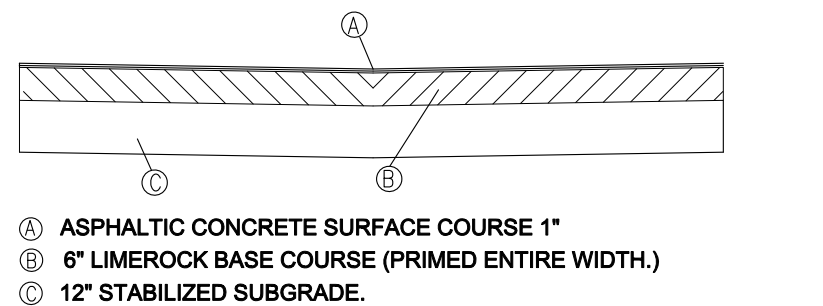
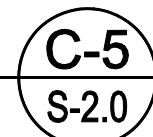
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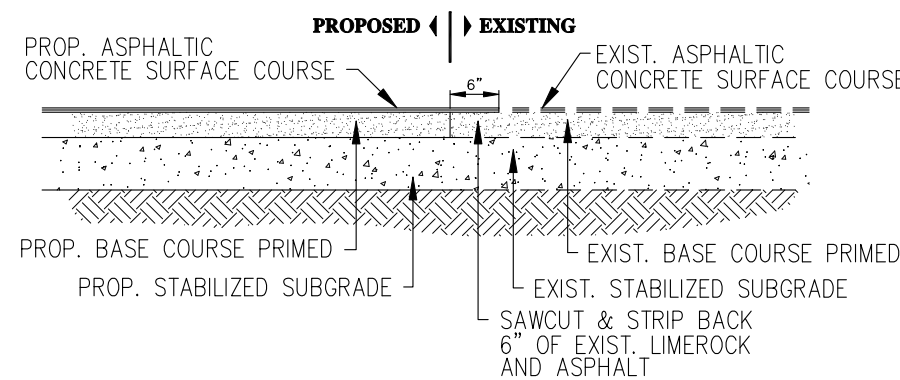


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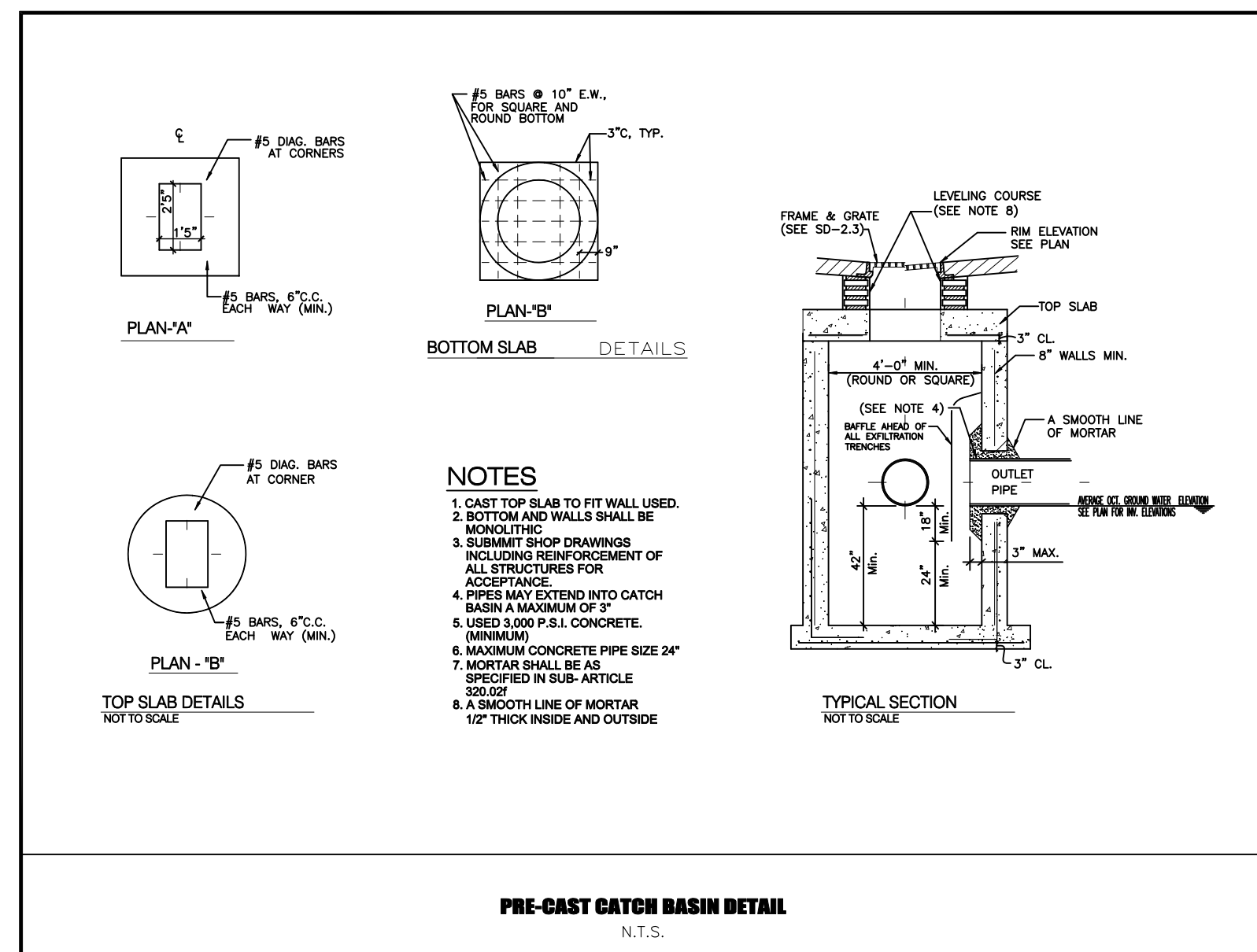
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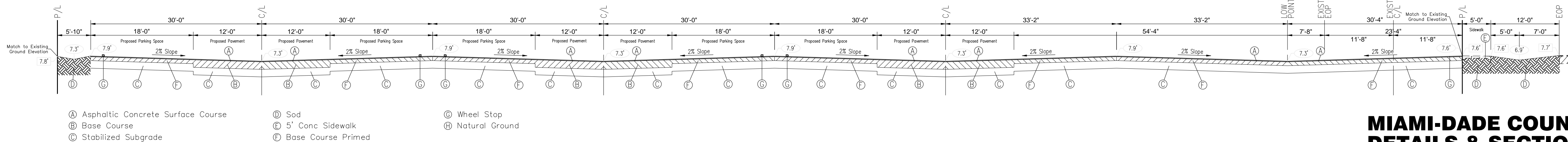


ASPHALT TIE-IN DETAIL



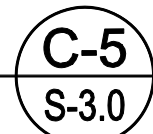
PRE-CAST CATCH BASIN DETAIL

N.T.S.



SECTION

SCALE: NOT TO SCALE



MIAMI-DADE COUNTY DETAILS & SECTIONS



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Sing & Seal

EVELIO RODRIGUEZ
P.E.#74127

Title: TAKE ONE COCKTAIL LOUNGE

340 N.E. 80th STREET
MIAMI, FL. 33138

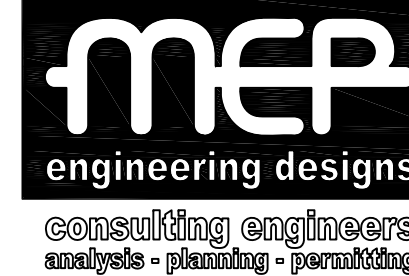
T. Tido.

DETAILS & SECTIONS

CONSTRUCTION PLANS

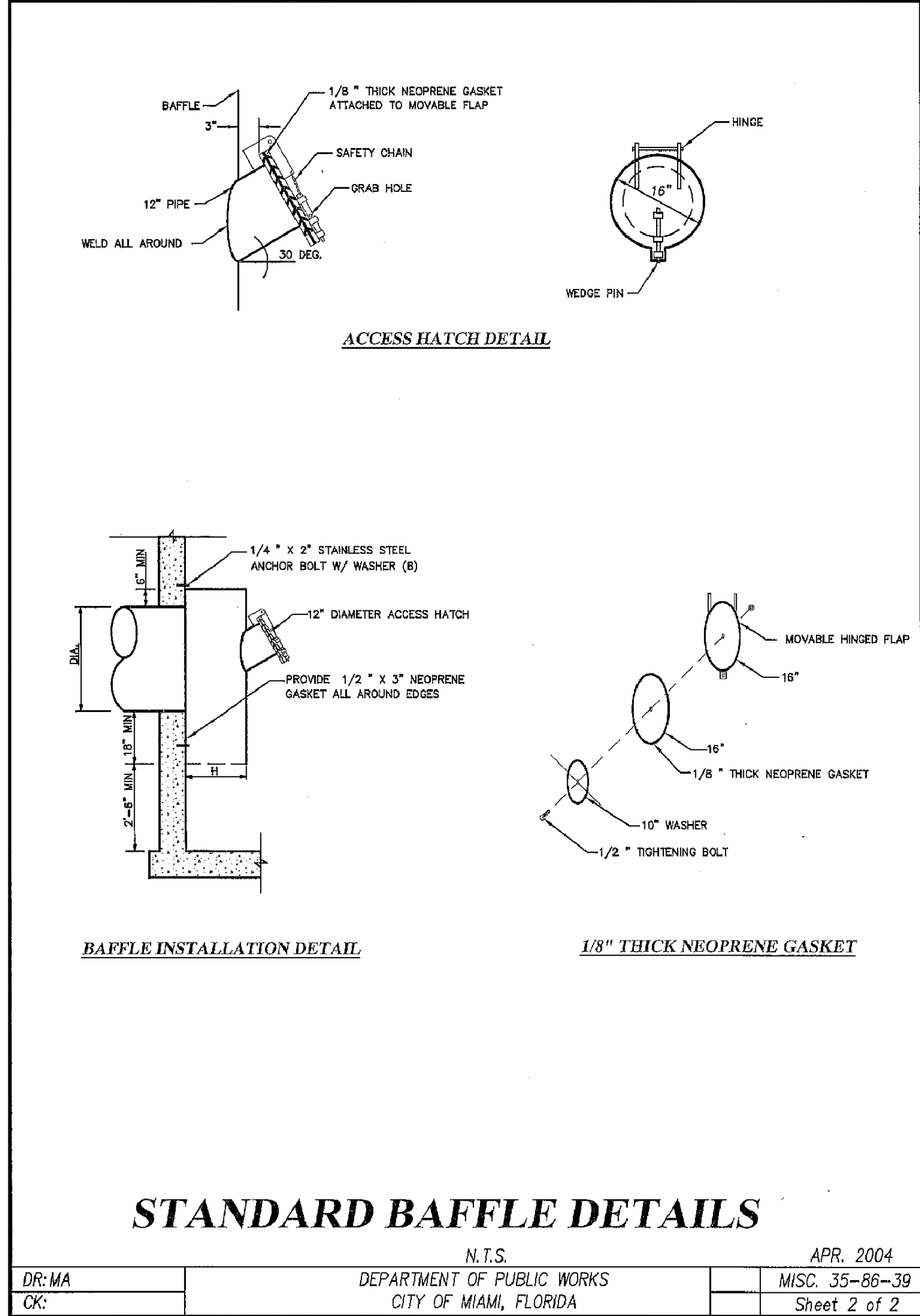
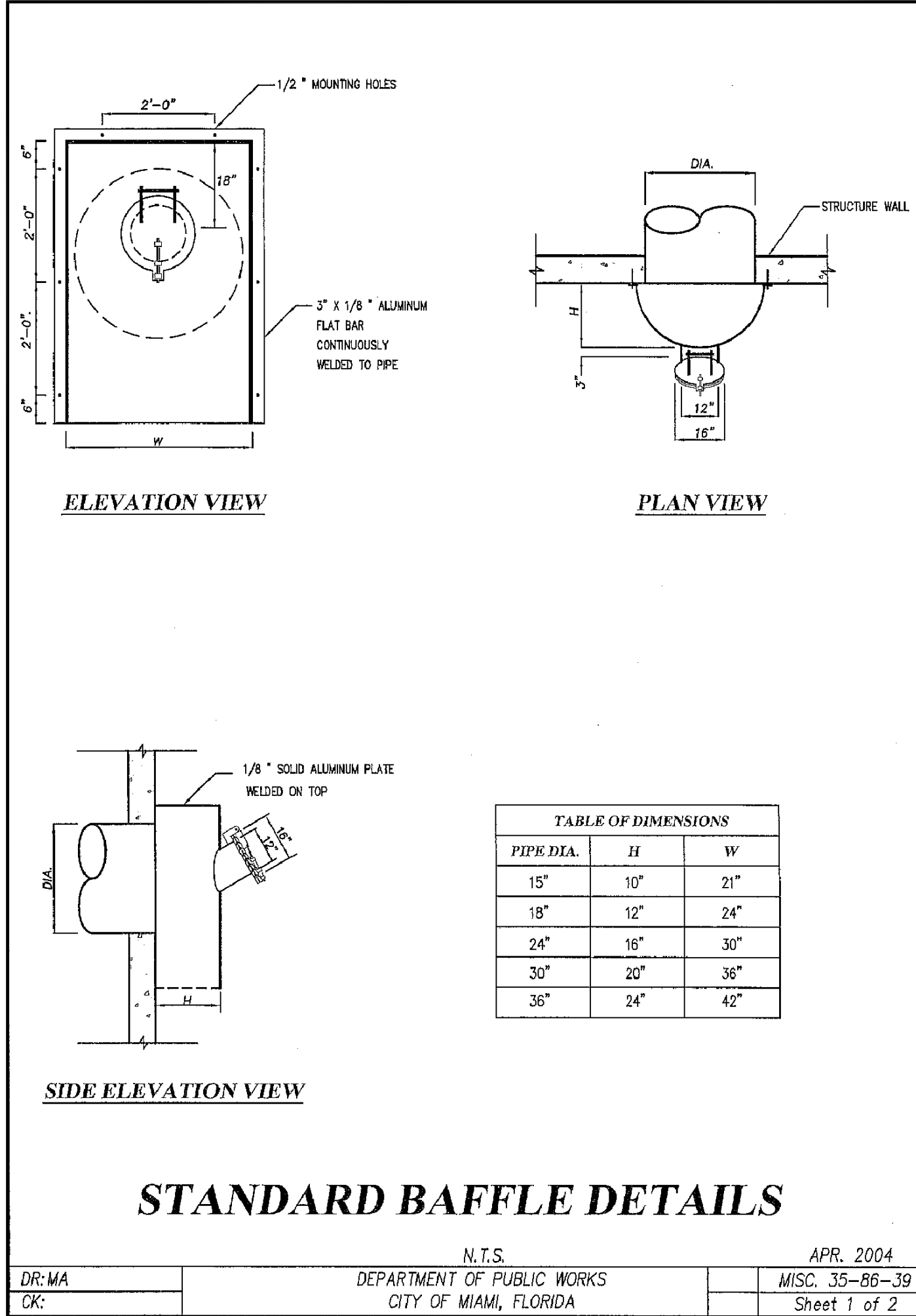
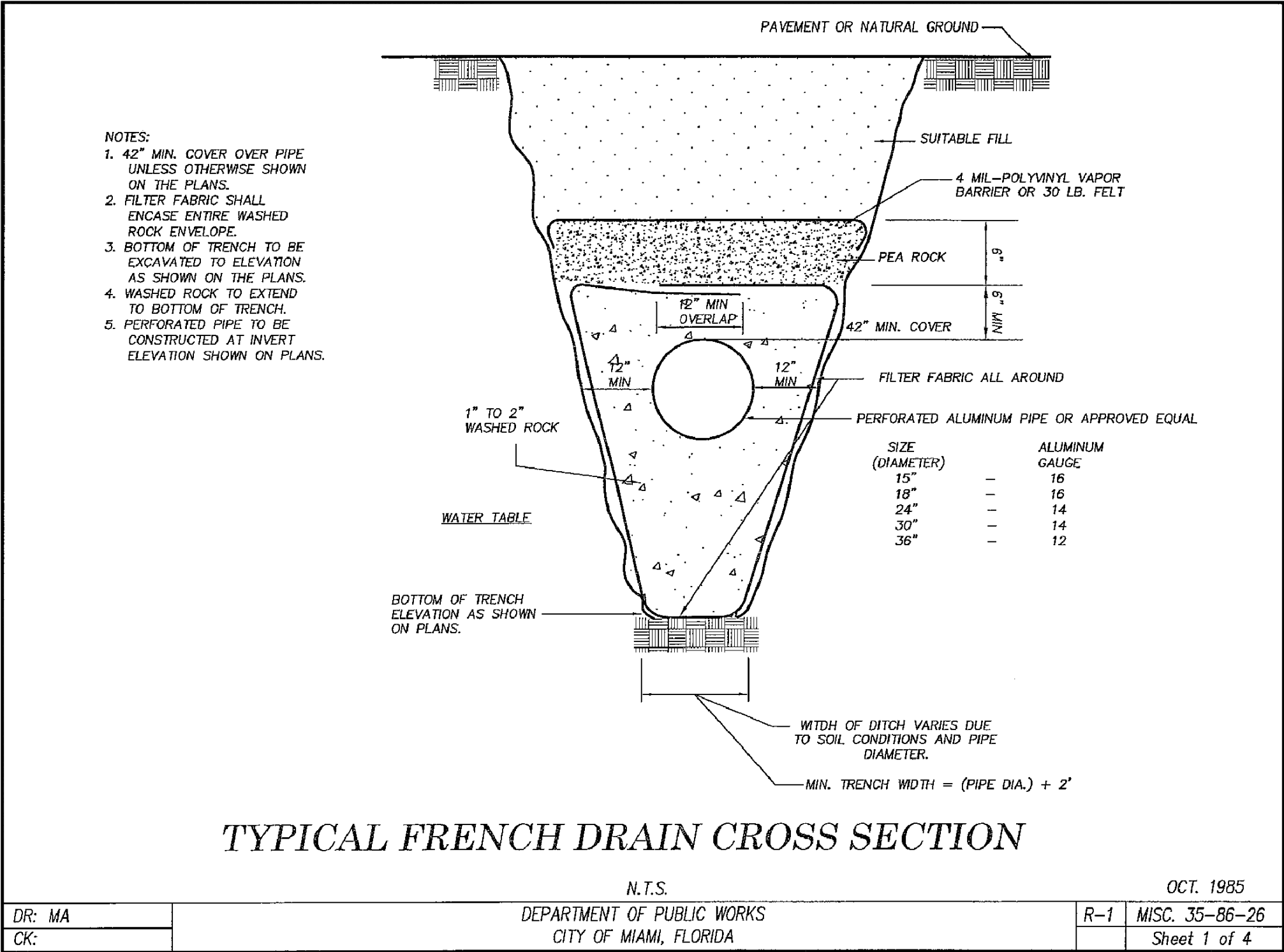
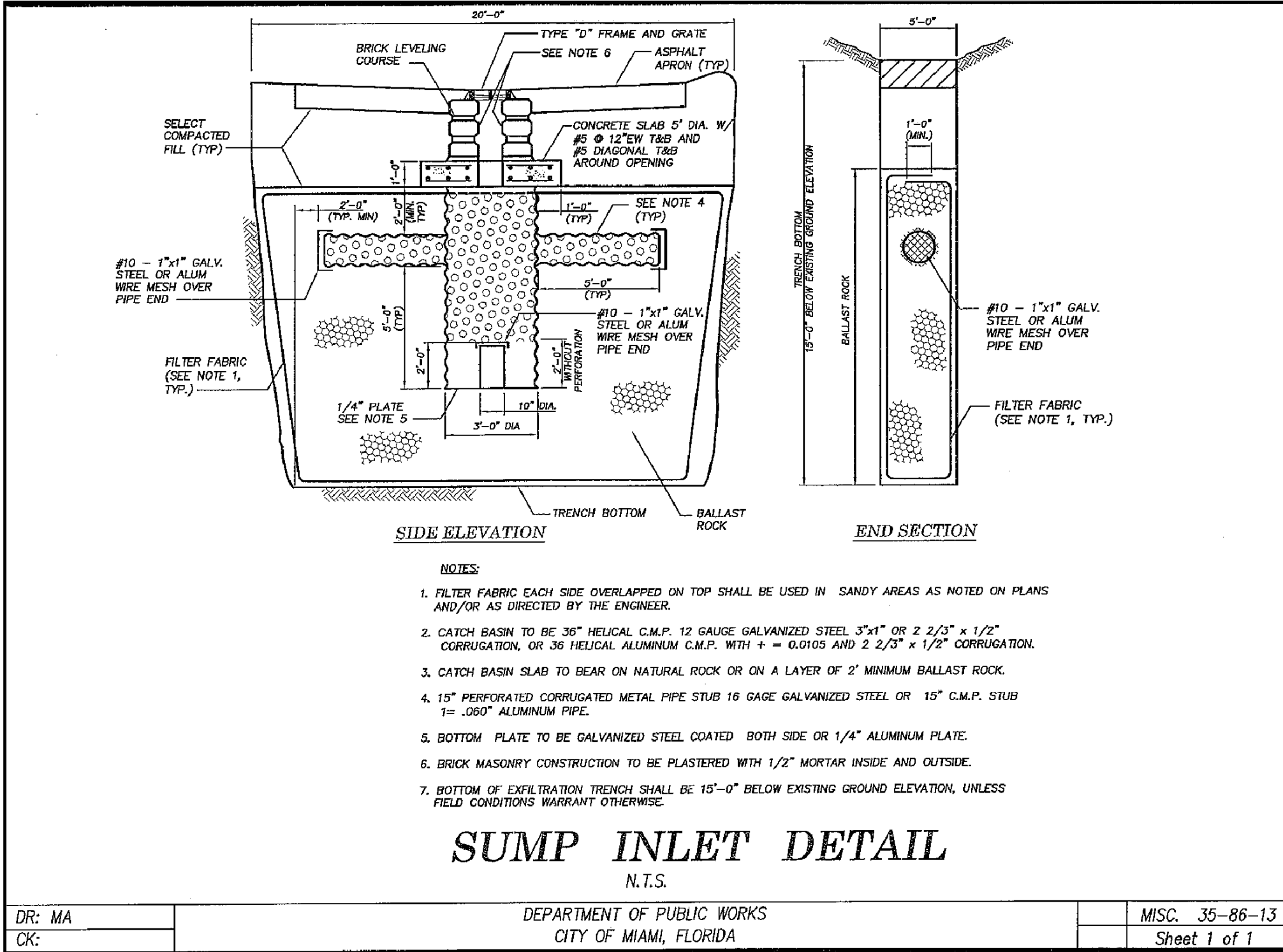
△	Revisions	Date
1	METRO DADE	11/13/12
2	CONTRACTOR	04/03/13

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**CITY OF MIAMI
DETAILS & SECTIONS**



ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY: That this plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of the "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", as adopted by the State of Florida Legislature, Chapter 72-328 F.S.

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Sign & Seal:

EVELIO RODRIGUEZ
P.E.#74127

TAKE ONE COCKTAIL LOUNGE

340 N.E. 80th STREET
MIAMI, FL 33138

Project No: 03/17/2012

Sheet

C-7

10 of 10 Sheets

Sheet Title:

**DETAILS & SECTIONS
CONSTRUCTION PLANS**

Revisions	Date
1. METRO DADE	11/13/12
2. CONTRACTOR	04/03/13

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